UNIVERSITY OF COLORA		ABBREVIATIONS			
SIIY OF COLORA	UNIVER	JUNCTION BOX JANITOR JOIST	J-BOX JAN JST	AND ANGLE AT	&
REPLACE ROOF,		JOINT KNOCKDOWN KITCHEN	K JT KD KIT	CENTER LINE NUMBER OR POUND	@ ~ #
REPLACE ROOF,		KNOCKOUT LABORATORY LAVATORY	LAB LAV	PROPERTY LINE DIAMETER AIR CONDITIONING	A Ø A/C
BID DR		LINEAL FOOT, LINEAL FEET LINOLEUM LOCKER	LF LINO LKR	ANCHOR BOLT ABOVE ACOUSTIC CEILING PANEL	AB ABV ACP
		LIVE LOAD LONG LEG HORIZONTAL LONG LEG VERTICAL	LL LLH LLV LT	ACOUSTIC CEILING TILE AMERICANS W/ DISABILITIES ACT ADDENDUM ADJACENT	ACT ADA ADD ADJ
PROJECT NUME		LIGHT LOUVER MAINTAIN, MAINTENANCE MASONRY	M LVR MAINT	AUTOMATIC EXTERNAL DEFIBRILLATOR ABOVE FINISHED FLOOR	AED AFF
FEBRUAR		MASONRY MATERIAL MAXIMUM MARKER BOARD	MAS MATL MAX MB	AGGREGATE AUTHORITY HAVING JURISDICTION AIR HANDLING UNIT	AGG AHJ AHU
		MEDIUM-DENSITY FIBERBOARD MECHANICAL MEMBER OR MEMBRANE	MDF MECH MEMB	ALTERNATE ALUMINUM ANODIZE / ANODIZED	ALT ALUM ANOD
		MANUFACTURER MAN HOLE MINIMUM	MFR MH MIN	APPROXIMATE ARCHITECTURAL, ARCHITECT ARCHITECT'S SUPPLEMENTARY	APPROX ARCH ASI
_ NOTES	GENERAL	MIRROR MISCELLANEOUS MOULDING	MIRR MISC MLDG	INSTRUCTIONS ASPHALT AUTOMATIC	ASPH AUTO BD
20. ALL INTERIOR FINISHES MUST COMPLY WITH THE REQUIREMENTS OF CHAPTER 8	THE FOLLOWING GENERAL NOTES APPLY TO THE ENTIRE SET OF DRAWINGS AND	MASONRY OPENING MOISTURE RESISTANT MOUNTED	MO MR MTD	BOARD BITUMINOUS BUILDING	BITUM BLDG
OF THE IBC. 21. CONTRACTOR SHALL LEGALLY DISPOSE OF ALL DEMOLITION/CONSTRUCTION	ARE NOT SPECIFIC TO ANY ONE DISCIPLINE. THESE NOTES SUPPLEMENT THE SPECIFICATIONS.	METAL MULLION NEW	N MUL (N)	BLOCKING BEAM BULL NOSE	BLKG BM BN
WASTE. 22. THE CONTRACTOR SHALL KEEP AREAS FREE FROM ACCUMULATION OF DEBRIS	2. ALL WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH CURRENT FEDERAL, STATE, AND LOCAL CODES.	NORTH NOT APPLICABLE NOT IN CONTRACT	N NA NIC	BOTTOM OF BOTTOM BEARING	BOT BRG
AND SHALL CONTROL ALL DUST, WORK AREA MUST BE BROOM CLEAN AT THE END OF EACH DAY TO THE GREATEST EXTENT POSSIBLE.	3. THE CONSTRUCTION, REMODEL OR DEMOLITION OF A BUILDING SHALL COMPLY WITH IFC CHAPTER 14 AND NFPA 241.	NUMBER NOMINAL NOISE REDUCTION COEFFICIENT NOT TO SCALE	NO NOM NRC	BASEMENT BETWEEN BUILT-UP ROOFING CURB & GUTTER	BTWN
23. PROVIDE DUST CONTAINMENT DURING CONSTRUCTION ADEQUATE TO PROTECT ALL ADJACENT AREAS AND TO MEET ALL LOCAL, REGIONAL, STATE AND FEDERAL	4. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED PERMITS, UNLESS OTHERWISE SPECIFIED IN THESE DOCUMENTS, AND COORDINATE AND	OVER OVERALL ON CENTER	O NTS O/ OA OC	CORB & GOTTER CABINET CEMENT CERAMIC	CAB
REQUIREMENTS FOR ENVIRONMENTAL CONTROL WHERE THERE IS CONTINUOUS FOOD PREPARATION.	SCHEDULE ALL REQUIRED INSPECTIONS AND TESTS. 5. THE GENERAL CONTRACTOR SHALL MAINTAIN THROUGHOUT THE PROJECT A	ON CENTER OUTSIDE DIAMETER OVERHEAD OPENING	OC OD OH OPG	CUBIC FEET PER MINUTE CORNER GUARD CAST IRON	CFM CG
24. CONTRACTOR SHALL PROTECT ADJACENT AREAS FROM DAMAGE. ALL DAMAGE SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.	CERTIFICATE OF INSURANCE FOR ALL LIABILITIES, WITH A HOLD HARMLESS FOR THE OWNER AND ARCHITECT.	OPENING OPPOSITE OVERFLOW ROOF DRAIN OUNCE	OPP ORD	CAST IRON CAST IN PLACE CONTROL JOINT CENTER LINE	CIP
25. CONTRACTOR SHALL PATCH AND REPAIR ANY EXISTING SURFACES TO REMAIN THAT ARE AFFECTED BY DEMOLITION WORK TO MAINTAIN A CLEAN AND UNIFORM FINISHED SURFACE.	6. REQUIREMENTS INDICATED IN THE PROJECT MANUAL ARE AN INTEGRAL PART OF THESE DOCUMENTS. DRAWINGS, SPECIFICATIONS, AND NOTES ARE COMPLEMENTARY AS ARE THE DRAWINGS OF EACH DISCIPLINE. NO DRAWING IN	POUND(S) PER CUBIC FOOT PLATE OR PROPERTY LINE PLASTIC LAMINATE	POZ PCF PL PLAM	CEILING CLEAR CONCRETE MASONRY UNIT	CLG CLR
26. WHEN REFINISHING/REPAINTING A WALL, CEILING/SOFFIT SURFACE, OR OTHER	THIS SET IS TO BE USED INDIVIDUALLY. ALL LABOR AND MATERIALS REQUIRED TO FULLY CARRY OUT THE INTENTIONS OF THE CONTRACT DOCUMENTS ARE PART	PLASTER PLUMBING PLYWOOD	PLAS PLBG PLYWD	COUNTER CHANGE ORDER OR COMPANY COLUMN	CNTR CO COL
ELEMENT AFFECTED BY REPAIR WORK, FINISHING/PAINTING SHALL COVER ENTIRE SURFACE CORNER TO CORNER. COLOR SHALL MATCH EXISTING ADJACENT UNO.	OF THIS CONTRACT, WHETHER OR NOT SPECIFICALLY NOTED. 7. THE DRAWINGS INDICATE EXISTING CONDITIONS AND BUILDING DATA THAT ARE	PANEL PAINT, PAINTED PAIR	PNL PNT PR	CONCRETE CONNECTION CONSTRUCTION	CONC CONN CONST
27. ALL EXPOSED EXTERIOR METAL FITTINGS, FLASHING, CONDUIT, ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES.	BELIEVED TO BE RELIABLE; HOWEVER THE ARCHITECT DOES NOT GUARANTEE THEIR ACCURACY OR COMPLETENESS AS THEY ARE PARTIALLY BASED ON LIMITED ACCESS TO THE SITE/BUILDING. ALL CONTRACTORS SHALL FIELD VERIFY	PROJECT POUNDS PER SQUARE FOOT	PREFAB PROJ PSF	CONTINUOUS CONTRACTOR COORDINATE	COORD
28. FOR ALL SALVAGED ITEMS TO BE REUSED, CONTRACTOR SHALL THOROUGHLY CLEAN AND PREPARE FOR NEW FINISH IF SCHEDULED.	CONDITIONS WHICH MAY AFFECT THEIR WORK. 8. DO NOT SCALE DRAWINGS. IF ADDITIONAL DIMENSIONS ARE REQUIRED, CONTACT	POUNDS PER SQUARE INCH PAINT OR POINT PAPER TOWEL DISPENSER	PSI PT PTD	CORRIDOR OR CORRUGATED CARPET CARD READER	CORR CPT CR
29. ARCHITECT AND ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL AND DISPOSAL OF, OR ANY EXPOSURE OF PERSONS TO, HAZARDOUS MATERIALS IN ANY FORM AT THE	ARCHITECT FOR CLARIFICATION. 9. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS	PAPER TOWEL RECEPTACLE POLYVINYL CHLORIDE QUARRY TILE	PTR PVC QT	CERAMIC TILE CENTER COUNTER SUNK	CTSK
PROJECT SITE, INCLUDING BUT NOT LIMITED TO ASBESTOS, LEAD-BASED PAINTS, POLYCHLORINATED BIPHENYL (PCB) OR OTHER TOXIC SUBSTANCES. IF SUCH	9. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK, NOTIFY THE ARCHITECT OF DISCREPANCIES FOR CLARIFICATION / DIRECTION PRIOR TO STARTING THE WORK.	QUARTER QUANTITY RADIUS OR RISER	QTR QTY R	CABINET UNIT HEATER COLD WATER CUBIC YARD	CW
MATERIALS ARE DISCOVERED AND ARE TO BE DISTURBED, THE OWNER SHALL BE INFORMED PRIOR TO ANY WORK BEING PERFORMED.	10. ALL CONFLICTS OR NON-CODE COMPLIANT ITEMS DEPICTED IN PLANS OR EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE	RETURN AIR RADIUS RETURN AIR GRILLE	RA RAD RAG	DOWN OR DRAIN DOUBLE DEMOLITION DEPARTMENT	DBL DEMO
30. THE PROJECT SITE HAS A STRICT PARKING POLICY. ALL CONTRACTORS SHALL REVIEW AND ABIDE BY THE POLICY.	ARCHITECT FOR CLARIFICATION. DO NOT PROCEED WITH WORK ON THE ITEM UNTIL CLARIFICATION / DIRECTIVE IS RECEIVED FROM THE ARCHITECT OR ENGINEER.	RUBBER BASE REFLECTED CEILING PLAN ROOF DRAIN REFER TO	RB RCP RD RE	DEPARTMENT DRINKING FOUNTAIN OR DOUGLAS FIR DIAMETER	DEPT DF DIA
31. MANY OF THE WORK AREAS OF THE PROJECT ARE CONGESTED. THE CONTRACTOR SHALL CAREFULLY PRE-PLAN WORK, ORGANIZE NEW LAYOUTS, AND CLOSELY COORDINATE ALL TRADES TO ASSURE ADEQUATE SPACE FOR THE	11. CONTRACTOR SHALL BE RESPONSIBLE FOR ON-SITE COORDINATION WITH OWNER REGARDING: PROJECT PHASING, SITE ACCESS, TEMPORARY UTILITIES	REFER TO REFERENCE REFRIGERATOR REINFORCING	RE: REF REFR REINE	DIAMETER DIMENSION DIMENSIONS DEAD LOAD	DIM DIMS
AND CLOSELY COORDINATE ALL TRADES TO ASSURE ADEQUATE SPACE FOR THE WORK/EQUIPMENT. ALL COSTS TO RELOCATE IMPROPERLY INSTALLED WORK/EQUIPMENT SHALL BE BORN BY THE CONTRACTOR.	AND FACILITIES REQUIRED TO MAINTAIN OWNER OCCUPANCY IN CERTAIN PORTIONS OF THE BUILDING DURING CONSTRUCTION. TEMPORARY BARRICADES	REINFORCING REQUIRED REQUIREMENT RESILIENT	REINF REQ'D REQ'T RES	DEAD LOAD DOWN DOOR DOWNSPOUT	DL DN DR DS
32. CONTRACTOR SHALL MAINTAIN A WEATHER-TIGHT ENCLOSURE AT ALL TIMES.	AND/OR RATED ENCLOSURES MAY BE REQUIRED FOR PROJECT PHASING. 12. CONTRACTOR SHALL COORDINATE ANY DISRUPTION IN THE UTILITY SERVICE	RESILIENT REVISED, REVISION RAIN LEADER ROOM	RES REV RL RM	DOWNSPOUT DETAIL DISHWASHER DRAWING(S)	DTL DW
33. CONTRACTOR SHALL COORDINATE DIMENSIONS OF ALL OPENINGS, BLOCKOUTS, DEPRESSIONS, ETC. WITH DRAWINGS FROM ALL DISCIPLINES, PROJECT SHOP DRAWINGS, AND FIELD CONDITIONS.	WITH OWNER, NOT LESS THAN 72 HOURS PRIOR TO DISRUPTION, OR AS SPECIFIED.	ROOM ROUGH OPENING RIGHT OF WAY ROOF TOP UNIT	RO ROW	EXISTING EAST EACH	E DWG (E) E EA
34. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS, METHODS, AND SEQUENCES OF CONSTRUCTION.	13. UNLESS OTHERWISE NOTED, ALL MATERIALS WORKMANSHIP AND EQUIPMENT SHALL BE WARRANTED FOR ONE YEAR AFTER NOTICE OF SUBSTANTIAL COMPLETION. PROVIDE TYPEWRITTEN OPERATING INSTRUCTIONS, AND	SOUTH SUPPLY AIR SUSPENDED ACOUSTIC TILE	S RTU S SA SAT	EXHAUST FAN EXPANSION JOINT ELEVATION	EF EJ EL
35. CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING UTILITIES.	EQUIPMENT WARRANTIES. ALL MATERIALS USED FOR THIS PROJECT SHALL BE NEW AND BEAR THE UL LABEL WHERE SUCH SERVICE AND LABEL ARE REGULARLY PROVIDED AND BE OF THE APPROPRIATE NEMA STANDARDS. REFER	SPLASH BLOCK SCHEDULE, SCHEDULED SMOKE DETECTOR OR SOAP	SB SCHED SD	ELECTRICAL ELEVATOR ENCLOSURE	ELEC ELEV ENCL
36. CONTRACTOR SHALL SECURE AND COMPLY WITH ALL TERMS AND CONDITIONS OF THE COLORADO PERMIT FOR STORM WATER DISCHARGE, STORM WATER	TO SPECIFICATIONS FOR INDIVIDUAL WARRANTY REQUIREMENTS.	DISPENSER OR STORM DRAIN SECTION SQUARE FOOT, SQUARE FEET	SECT SF	ENGINEER ELECTRICAL PANEL EQUAL	ENGR EP EQ
MANAGEMENT PLAN, AND THE EROSION CONTROL PLAN. 37. EXISTING FENCES, TREES, SHRUBS, STREETS, SIDEWALKS, CURBS AND GUTTERS,	14. THE CONTRACTOR SHALL MAINTAIN A CURRENT/UPDATED SET OF RECORD DRAWINGS ON SITE AT ALL TIMES.	SHEET SHEATHING SIMILAR	SHT SHTG SIM	EQUIPMENT ESTIMATED ETCETERA	EQPT EST ETC
LANDSCAPING, STRUCTURES, OR IMPROVEMENTS DESTROYED, DAMAGED, OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED OR RESTORED IN KIND AT THE CONTRACTOR'S EXPENSE UNLESS OTHERWISE	15. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY, INCLUDING BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, BARRIERS, FALL PROTECTION, AND OSHA REGULATIONS.	SLIP JOINT SLIDING SANITARY NAPKIN DISPENSER	SJ SLDG SND	EACH WAY ELECTRIC WATER COOLER ELECTRIC WATER HEATER	EWH
NOTED. 38. PLANS FOR FIXED FIRE PROTECTION EQUIPMENT SUCH AS STANDPIPES,	16. ALL SUBCONTRACTORS SHALL VISIT THE JOB SITE WITHIN 24 HOURS PRIOR TO COMMENCING WORK. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR	SANITARY NAPKIN RECEPTACLE SLAB ON GRADE SPECIFICATION, SPECIFIED SOLIABE	SNR SOG SPEC	EXISTING EXPANSION OR EXPOSED EXTERIOR FIRE ALARM	
SPRINKLER SYSTEMS, AND FIRE ALARM SYSTEMS MUST BE SUBMITTED TO AND APPROVED BY THE FIRE PREVENTION AHJ PRIOR TO INSTALLATION.	REVIEWING RELATED TRADES SUBSURFACE PREPARATION AND SHALL REPORT ANY NON-CONFORMING DISCREPANCY TO THE GENERAL CONTRACTOR. EXECUTION OF WORK BY ANY SUBCONTRACTOR INDICATES ACCEPTANCE OF	SQUARE SQUARE FOOT, SQUARE FEET STAINLESS STEEL SOUND TRANSMISSION CLASS	SQ SQFT SS STC	FIRE ALARM FIRE ALARM ANNUNCIATOR PANEL FIRE ALARM CONTROL PANEL FUTURE BY OWNER	FAAP FACP
39. DURING ROOF REPLACEMENT WORK, CONTRACTOR SHALL SHALL RETAIN ON SITE MATERIALS AND/OR EQUIPMENT TO ADDRESS UNEXPECTED WATER LEAKS INTO	PREVIOUS TRADE'S WORK.	SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURE. STRUCTURAL	STC STD STL STRUC	FUTURE BY OWNER FLOOR CLEAN OUT FAN COIL UNIT FLOOR DRAIN	FCO
THE BUILDING TO OWNER'S PROJECT MANAGER'S SATISFACTION.	17. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE AND PERFORM THE TEMPORARY OR PERMANENT RELOCATION OF ALL ELECTRICAL RACEWAYS WIRING, PIPING, MECHANICAL DEVICES AND EQUIPMENT AND SIMILAR SUCH ITEMS	STRUCTURE, STRUCTURAL SUSPENDED SHEET VINYL SYMMETRICAL	SUSP SV	FLOOR DRAIN FIRE DEPARTMENT CONNECTION FOUNDATION FIRE EXTINGUISHER	FDC FDN
	TO THE EXTENT NECESSARY TO ACCOMPLISH THE WORK UNDER THIS CONTRACT. 18. PLUMBING, MECHANICAL AND ELECTRICAL PENETRATIONS IN RATED ASSEMBLIES	TREAD TOP AND BOTTOM TONGUE AND GROOVE	T SYM T T&B T&G	FIRE EXTINGUISHER CABINET FINISH FLOOR LINE FINISH, FINISHED	FEC FFL
	SHALL COMPLY WITH CHAPTER 7 OF THE IBC. 19. PROVIDE ACCESS PANELS WHERE NECESSARY TO PROVIDE ACCESS TO FIRE	TOWEL BAR OR TACK BOARD TO BE DETERMINED TELEPHONE	TB TBD TELE	FIXTURE FINISH GRADE FIRE HYDRANT	FIXT FG FH
	AND/OR SMOKE DAMPERS, ELECTRICAL BOXES AND EQUIPMENT, PUMPS, VALVES, ETC. WHERE SUCH PANEL IS IN A RATED ASSEMBLY, IT SHALL BE OF THE SAME RATING AS THAT ASSEMBLY. COORDINATE WITH MECHANICAL AND ELECTRICAL	TEMPORARY THICK, THICKNESS THROUGH	TEMP THK THRU	FLOW LINE FLOOR FLASHING	FL FLR FLSG
	RATING AS THAT ASSEMBLY. COORDINATE WITH MECHANICAL AND ELECTRICAL FOR ADDITIONAL ACCESS PANELS THAT MAY BE REQUIRED BUT NOT SPECIFICALLY NOTED ON ARCHITECTURAL PLANS.	TOP OF TOP OF CONCRETE TOP OF MASONRY	TO TOC TOM	FLUORESCENT FACE OF STUD FIBERGLASS REINFORCED	FLUOR FOS
		TOP OF STEEL TOP OF WALL TOILET PAPER DISPENSER	TOS TOW TPD	PLASTIC (OR POLYESTER) FIRE-TREATED OR FOOT, FEET FOOTING	FT FTG
		TUBE STEEL TYPICAL UNDERCUT	TS TYP UC	FUTURE FIELD VERIFY GAGE, GAUGE	G FV GA
		UNDERWRITER'S LABORATORY UNLESS NOTED OTHERWISE URINAL	UL UNO UR VB	GALVANIZE GRAB BAR GENERAL CONTRACTOR	GALV GB GC
		VAPOR BARRIER VINYL COMPOSITION TILE VERTICAL	VCT VERT	GLASS GLUE-LAMINATED BEAM GLUE-LAMINATED	GL GLB GLULAM
ARCHITECTURAL SYMBOL LEGEND		VERIFY IN FIELD VENT THROUGH ROOF WITH	VIF W/VTR W/	GUARD RAIL GYPSUM BOARD HOSE BIBB	GR GYP BD HB
KEYNOT N/ DETAIL	B ELEVATION REFERENCE: MULTI VIEW ENLARGED PLAN	WITHIN WITHOUT WEST	W/IN W/OUT W	HANDICAPPED HEADER HARDWARE	HC HDR HDWE
(128A) DOOR NUMBER X KEYNOT	MULTI VIEW ENLARGED PLAN REFERENCE	WOOD BASE WATER CLOSET WALL CLEAN OUT	WB WC WCO	HOLLOW METAL HORIZONTAL HIGH POINT OR HORSE POWER HAND RAIL OR HOUR	HM HORIZ HP HR
	ELEVATION REFERENCE:	WOOD WIDE FLANGE WATER PROOF(ING) WATER PROSISTANT	WD WF WP	HAND RAIL OR HOUR HOLLOW STRUCTURAL SHAPE HEIGHT HEATING, VENTILATION, AND AIR	HR HSS HT HVAC
ENCE A WINDOV	SINGLE VIEW SECTION REFERE	WATER RESISTANT WAINSCOT WELDED WIRE FABRIC TRANSFORMER	WR WSCT WWF XFMR	HEATING, VENTILATION, AND AIR CONDITIONING HOT WATER INTERNATIONAL BUILDING CODE	HW IBC
GRID LINES (EQXX) EQUIPM	(AX.XX)	TRANSFORMER YARD	XFMR YD	INTERNATIONAL BUILDING CODE INSIDE DIAMETER INCH INCLUDED	ID INCL
TAXX) TOILET	DETAIL REFERENCE O'-O" AFF ELEVATION			INCLUDED INFORMATION INSULATE, INSULATION	INFO INSUL
		•		INTERIOR	INT

ORADO, COLORADO SPRINGS OOF, COLUMBINE HALL

BID DRAWINGS

ECT NUMBER: 2019-106M22 BRUARY 22, 2023

EMENTS OF CHAPTER 8 UNIVERSITY OF COLORADO, COLORADO SPRINGS CONTACT: DON WRIGHT ON/CONSTRUCTION PROJECT MANAGER 1420 AUSTIN BLUFFS PKWY. COLORADO SPRINGS, CO 80918

OOM CLEAN AT THE END DEQUATE TO PROTECT L, STATE AND FEDERAL **HERE IS CONTINUOUS**

- AMAGE. ALL DAMAGE COST TO OWNER.
- URFACES TO REMAIN A CLEAN AND UNIFORM
- IG SHALL COVER ENTIRE STING ADJACENT UNO.
- NDUIT, ETC. SHALL BE
- SHALL THOROUGHLY
- NO RESPONSIBILITY ND DISPOSAL OF, OR S IN ANY FORM AT THE S, LEAD-BASED PAINTS STANCES. IF SUCH THE OWNER SHALL BE
- ONTRACTORS SHALL
- NIZE NEW LAYOUTS, QUATE SPACE FOR THE
- PENINGS, BLOCKOUTS IES, PROJECT SHOP
- METHODS, AND
- UTILITIES.
- MS AND CONDITIONS OF STORM WATER
- , CURBS AND GUTTERS YED, DAMAGED, OR LL BE REPLACED OR ESS OTHERWISE
- STANDPIPES, SUBMITTED TO AND ALLATION.
- . SHALL RETAIN ON SITE ED WATER LEAKS INTO

PROJECT SCOPE OF WORK

PROJECT CONSISTS OF DEMOLITION OF EXISTING SBS MOD CAP ROOFING AND REPLACING WITH NEW TPO MEMBRANE ROOF ASSEMBLY. WORK ALSO INCLUDES REPLACEMENT OF ROOF FLASHINGS AND ASSOCIATED ROOFING ACCESSORIES, AS WELL AS A NEW ROOF ACCESS LADDER.

REPLACE ROOF AREAS A, B, D, & F; 15-YEAR ROOF WARRANTY ADDITIVE ALTERNATE #1: REPLACE ROOF AREA E ADDITIVE ALTERNATE #2: REPLACE ROOF AREA C

DEFERRED SUBMITTAL/DELEGATED DESIGN: LIGHTNING PROTECTION SYSTEM THE BUILDING HAS AN EXISTING LIGHTNING-PROTECTION SYSTEM THAT WILL BE AFFECTED BY ROOF REPLACEMENT WORK. CONTRACTOR SHALL ENGAGE A QUALIFIED LIGHTNING PROTECTION SPECIALIST TO FIELD-VERIFY EXISTING CONDITIONS, TO DIRECT REMOVAL & REINSTALLATION OF EXISTING LIGHTNING PROTECTION COMPONENTS TO REMAIN, AND TO DESIGN, SPECIFY, AND INSTALL NEW LIGHTNING PROTECTION COMPONENTS TO BRING THE BUILDING IN COMPLIANCE WITH CURRENT LIGHTNING PROTECTION STANDARDS. EXISTING LIGHTNING PROTECTION COMPONENTS SHOWN ON ROOF DEMOLITION PLANS FOR REFERENCE ONLY. THE LIGHTNING PROTECTION SYSTEM SHALL CONFORM TO THE REQUIREMENTS AND STANDARDS FOR LIGHTNING PROTECTION SYSTEMS OF UL AND NFPA. UPON COMPLETION, THE CONTRACTOR SHALL FURNISH A LPI MASTER INSTALLATION CERTIFICATE.

PROJECT CODE SUMMARY

DIRECTORY

PHONE: (719) 502-1433

EMAIL: dwright7@uccs.edu

HALL ARCHITECTS

CONTACT: BENJAMIN KUBCZAK

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COLORADO SPRINGS, CO 80918

PHONE: (719) 277-7300

EMAIL: ben@hall-architects.com

APPLICABLE CODES: 2021 IBC, IEBC, IECC, IFC, AND IMC 2018 IPC, IFGC 2017 ICC/ANSI A117.1

FIRE DEPARTMENT AHJ: COLORADO SPRINGS FIRE DEPT. FIRE ALARM FIRE SPRINKLER

DATE OF ORIGINAL CONSTRUCTION: 1996 LAST MAJOR ADDITION/ RENOVATION: 2015 TYPE II - F.R. CONSTRUCTION TYPE: OCCUPANCY GROUP: NUMBER OF STORIES: BUILDING HEIGHT: 56'-0" FIRE SPRINKLERED: YES FIRE ALARM: YES BUILDING AREA (IN SQUARE FEET):

ROOM XXX

TOTAL AREA OF ROOF:

KEYNOTE REFERENCE

NEW WORK

KEYNOTE REFERENCE

EQUIPMENT INDICATOR

WINDOW TYPE

DEMOLITION WORK

TOILET ACCESSORY INDICATOR

107,571 SF

ROOM IDENTIFICATION

— WALL TYPE INDICATOR

ADDENDA REVISION

DRAWING REVISION

29,850

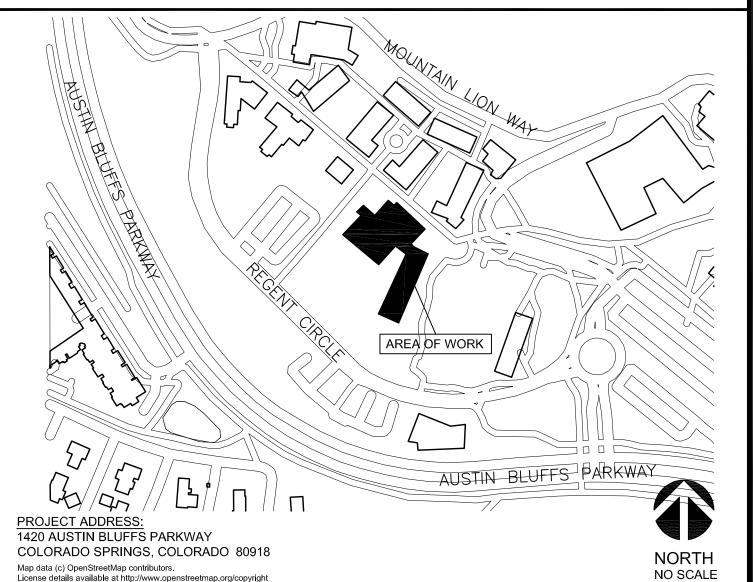
DRAWING INDEX

G0.00 TITLE, DIRECTORY, DRAWING INDEX, CODE SUMMARY, VICINITY MAP, GENERAL NOTES, ABBREVIATIONS, AND ARCHITECTURAL SYMBOL

ARCHITECTURAL DRAWINGS A0.00 SITE PLAN A1.00 DEMOLITION ROOF PLAN - WEST A1.10 DEMOLITION ROOF PLAN - EAST A2.00 ROOF PLAN - WEST A2.10 ROOF PLAN - EAST A9.00 ROOF DETAILS

License details available at http://www.openstreetmap.org/copyright
Data via USGS National Elevation Dataset (NED). All NED data are in the public domain.

VICINITY MAP



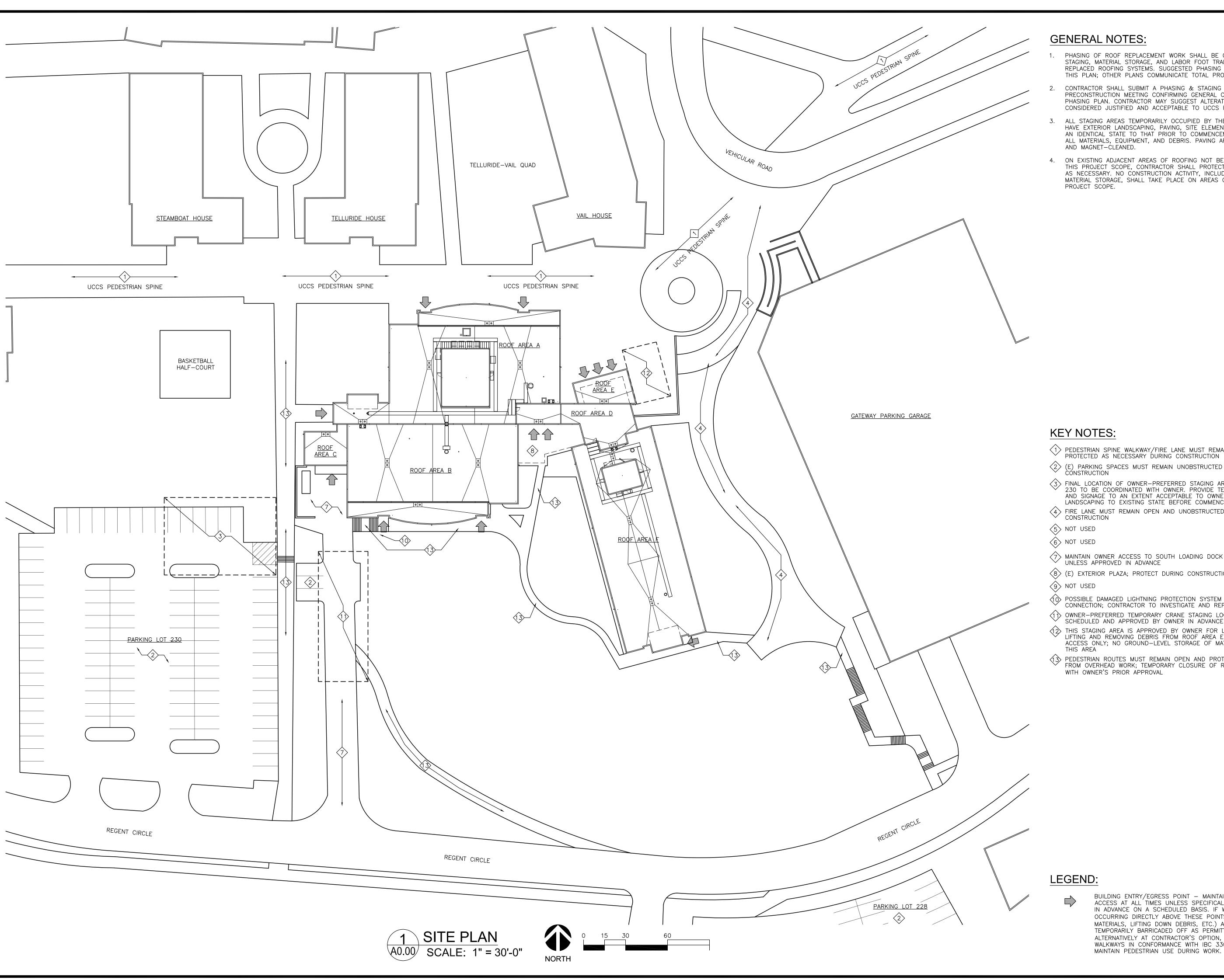
SPRING

REPLACEMENT DO, COLORADO

BID DOCUMENTS

SHEET TITLE: TITLE SHEET AND PROJECT INFORMATION

DATE: 2/22/2023



GENERAL NOTES:

- PHASING OF ROOF REPLACEMENT WORK SHALL BE CONDUCTED TO MINIMIZE STAGING, MATERIAL STORAGE, AND LABOR FOOT TRAFFIC OVER NEWLY REPLACED ROOFING SYSTEMS. SUGGESTED PHASING ONLY IS SHOWN ON THIS PLAN; OTHER PLANS COMMUNICATE TOTAL PROJECT SCOPE OF WORK.
- CONTRACTOR SHALL SUBMIT A PHASING & STAGING PLAN DURING THE PRECONSTRUCTION MEETING CONFIRMING GENERAL CONFORMANCE WITH THIS PHASING PLAN. CONTRACTOR MAY SUGGEST ALTERATIONS TO THIS PLAN AS CONSIDERED JUSTIFIED AND ACCEPTABLE TO UCCS PROJECT MANAGER.
- ALL STAGING AREAS TEMPORARILY OCCUPIED BY THE CONTRACTOR SHALL HAVE EXTERIOR LANDSCAPING, PAVING, SITE ELEMENTS, ETC. RESTORED TO AN IDENTICAL STATE TO THAT PRIOR TO COMMENCEMENT OF WORK. REMOVE ALL MATERIALS, EQUIPMENT, AND DEBRIS. PAVING AREAS SHALL BE SWEPT AND MAGNET-CLEANED.
- 4. ON EXISTING ADJACENT AREAS OF ROOFING NOT BEING REPLACED UNDER THIS PROJECT SCOPE, CONTRACTOR SHALL PROTECT DURING CONSTRUCTION AS NECESSARY. NO CONSTRUCTION ACTIVITY, INCLUDING FOOT TRAFFIC AND MATERIAL STORAGE, SHALL TAKE PLACE ON AREAS OF ROOF OUTSIDE OF

KEY NOTES:

- PEDESTRIAN SPINE WALKWAY/FIRE LANE MUST REMAIN OPEN AND PROTECTED AS NECESSARY DURING CONSTRUCTION
- (E) PARKING SPACES MUST REMAIN UNOBSTRUCTED DURING CONSTRUCTION
- 3 FINAL LOCATION OF OWNER-PREFERRED STAGING AREA IN PARKING LOT 230 TO BE COORDINATED WITH OWNER. PROVIDE TEMPORARY FENCING AND SIGNAGE TO AN EXTENT ACCEPTABLE TO OWNER, AND REPAIR ALL LANDSCAPING TO EXISTING STATE BEFORE COMMENCEMENT OF WORK.
- 4 FIRE LANE MUST REMAIN OPEN AND UNOBSTRUCTED DURING

- MAINTAIN OWNER ACCESS TO SOUTH LOADING DOCK AT ALL TIMES, UNLESS APPROVED IN ADVANCE
- (8) (E) EXTERIOR PLAZA; PROTECT DURING CONSTRUCTION
- POSSIBLE DAMAGED LIGHTNING PROTECTION SYSTEM GROUND CONNECTION; CONTRACTOR TO INVESTIGATE AND REPAIR IF REQUIRED
- OWNER-PREFERRED TEMPORARY CRANE STAGING LOCATION; MUST BE SCHEDULED AND APPROVED BY OWNER IN ADVANCE
- THIS STAGING AREA IS APPROVED BY OWNER FOR LIGHT VEHICLE LIFTING AND REMOVING DEBRIS FROM ROOF AREA E AND LADDER ACCESS ONLY; NO GROUND-LEVEL STORAGE OF MATERIALS ALLOWED IN
- PEDESTRIAN ROUTES MUST REMAIN OPEN AND PROTECTED AS REQUIRED FROM OVERHEAD WORK; TEMPORARY CLOSURE OF ROUTES ACCEPTABLE WITH OWNER'S PRIOR APPROVAL

BUILDING ENTRY/EGRESS POINT - MAINTAIN OWNER/PUBLIC ACCESS AT ALL TIMES UNLESS SPECIFICALLY APPROVED BY OWNER IN ADVANCE ON A SCHEDULED BASIS. IF WORK IS TEMPORARILY OCCURRING DIRECTLY ABOVE THESE POINTS (E.G.: LIFTING UP MATERIALS, LIFTING DOWN DEBRIS, ETC.) AREAS MAY BE TEMPORARILY BARRICADED OFF AS PERMITTED BY A.H.J., OR ALTERNATIVELY AT CONTRACTOR'S OPTION, TEMPORARY COVERED WALKWAYS IN CONFORMANCE WITH IBC 3306 MAY BE ERECTED TO

SPRING ACEMENT 809 ROOF OLORAISES PKV VERSITY (
) AUSTIN
ORADO S COLUN UNIVEF 1420 A COLOF

SHEET TITLE:

SITE PLAN

BID DOCUMENTS SET

DATE: 2/22/2023

SHEET NO.:

DEMOLITION ROOF PLAN GENERAL NOTES:

- 1. CONTRACTOR SHALL LEGALLY DISPOSE OF ALL DEMOLITION/CONSTRUCTION
- 2. DURING CONSTRUCTION, CONTRACTOR SHALL PROTECT ALL EXISTING ELEMENTS TO REMAIN.
- 3. ROOFING TO BE REMOVED SHALL BE REMOVED TO EXISTING STRUCTURAL ROOF DECK UNLESS OTHERWISE NOTED.
- 4. FOR ALL SALVAGED ITEMS TO BE REUSED, CONTRACTOR SHALL THOROUGHLY CLEAN AND PREPARE FOR NEW FINISH.
- 5. EXISTING SQUARE FOOTAGES OF ROOF AREAS, DIMENSIONS, AND DESCRIPTIONS OF EXISTING ROOF ASSEMBLIES SHOWN ARE BASED ON OWNER RECORD DRAWINGS AND ARE NOT TO BE RELIED UPON FOR BID TAKE-OFF; G.C. SHALL FIELD VERIFY EXISTING CONDITIONS.
- DURING ROOFING ASSEMBLY REMOVAL, CONTRACTOR SHALL INSTALL TEMPORARY OR PERMANENT FILLER MATERIAL (SUCH AS SEALANT BACKER RODS OR SIMILAR MATERIAL) IN ALL PRE-CAST CONCRETE ROOF JOINTS OR OTHER SUCH OPENINGS TO MINIMIZE DEBRIS AND DIRT FROM ENTERING THE BUILDING DURING THE DEMO PROCESS.
- 7. COORDINATE REMOVAL AND REINSTALLATION OF (E) LIGHTNING PROTECTION SYSTEM COMPONENTS WITH LIGHTNING PROTECTION SUBCONTRACTOR.

EXISTING ROOFING ASSEMBLY

SBS CAP SHEETING O/ B.U.R. 1/2" FIBER BOARD COVER BOARD - FULLY ADHERED ±2-1/2" RIGID INSULATION - FULLY ADHERED OVER PRECAST CONCRETE DOUBLE-TEE OR HOLLOW CORE SLAB ROOF DECK

KEY NOTES: (NOT ALL NOTES ARE USED ON THIS SHEET)

- (E) B.U.R., PROTECTION BOARD, INSULATION, & CRICKETS TO BE REMOVED DOWN TO (E) CONC. ROOF DECK; (TYP).
- (E) LIGHTNING PROTECTION SPIKE AND ASSOCIATED CABLING TO BE DETACHED FROM (E) AND SET ASIDE FOR REINSTALLATION ON (N) ROOF; DO NOT DISCONNECT FROM BUILDING EXTERIOR WALLS OR BUILDING INTERIOR; (TYP.)
- (E) PRIMARY/OVERFLOW ROOF DRAIN TO REMAIN; PROVIDE TEMP. COVER DURING DEMOLITION TO PREVENT DEBRIS FROM ENTERING DRAIN PIPE AND REMOVE TEMP. COVER AT END OF WORK DAY, OR DURING PRECIPITATION EVENT. CAST-IRON DRAIN SCREENS TO REMAIN
- (4) (E) PLAZA W/BRICK PAVERS BELOW; PROTECT DURING CONSTRUCTION
- (5) (E) PRECAST PARAPET TO REMAIN; (TYP.)
- (E) PENTHOUSE ACCESS DOORS TO REMAIN; PROTECT DURING CONSTRUCTION AND DO NOT OBSTRUCT DURING WORK WITHOUT OWNER APPROVAL IN
- ADVANCE; (TYP.) (7) (E) ELECTRICAL DUPLEX CONVENIENCE OUTLET
- (8) (E) PIPE VENT TO REMAIN; IF UNCAPPED, PROTECT DURING DEMO. W/ TEMP. SCREEN COVER TO PREVENT DEBRIS FROM ENTERING PIPE W/O OBSTRUCTING VENT; (TYP.)
- (E) MECH. EXHAUST TO REMAIN; PROTECT DURING CONSTRUCTION; REMOVE (E) BASE FLASHING & PREPARE FOR (N) BASE FLASHING PER ROOF MFR.
- (E) CONDUIT ROOF PENETRATION TO REMAIN; REMOVE (E) BOOT FLASHING AND PREPARE FOR (N) BOOT FLASHING PER ROOF MFR.
- (11) (E) MTL. COPING TO BE REMOVED
- (12) (E) EXPANSION JOINT; REMOVE AND REPLACE (E) CAP FLASHING
- (13) (E) LAMBS TONGUE DRAINAGE OUTLETS FROM ROOF AREA ABOVE TO REMAIN
- (E) HVAC OUTSIDE AIR INTAKE LOUVER IN PENTHOUSE WALL TO REMAIN; COORDINATE SHUTDOWN OF AIR—HANDLING UNITS W/ OWNER PRIOR TO DEMOLITION & ROOFING WORK IN THIS AREA
- (E) PREFABRICATED METAL PANEL MECHANICAL PENTHOUSE ENCLOSURE TO REMAIN
- (16) (E) WOODEN ACCESS STEPS TO BE REMOVED
- (E) CRAC UNIT ON CONC. PAD TO REMAIN; CUT (E) ROOFING ASSEMBLY AROUND CONCRETE PERIMETER BELOW PAD; ROOFING TO REMAIN; SEE 1/A9.00
- (E) CURBED CABLE PENETRATION SLEEVE AND CAP FLASHING TO BE REMOVED & REINSTALLED; RE—FLASH AND MOUNT IN (E) CURB
- (19) (E) STANDPIPE & VALVE TO REMAIN
- (E) OVERFLOW ROOF DRAIN OUTLET @ APPROXIMATELY 12" A.F.G. TO REMAIN; (SHOWN FOR REFERENCE ONLY)
- (21) (E) PITCH PAN AND ABANDONED CONDUIT TO BE REMOVED
- (22) DASHED LINE INDICATES EXTERIOR WALLS OF VESTIBULE BELOW ROOF
- (23) (E) STANDING SEAM ROOFING; PROTECT DURING CONSTRUCTION





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BID DOCUMENTS

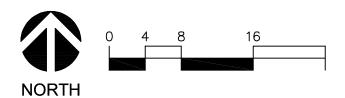
SHEET TITLE: DEMOLITION

DATE: 2/22/2023

ROOF PLAN

SHEET NO.:

DEMOLITION ROOF PLAN - WEST A1.00/ SCALE: 3/32" = 1'-0"



DEMOLITION ROOF PLAN GENERAL NOTES:

- 1. CONTRACTOR SHALL LEGALLY DISPOSE OF ALL DEMOLITION/CONSTRUCTION
- 2. DURING CONSTRUCTION, CONTRACTOR SHALL PROTECT ALL EXISTING ELEMENTS TO REMAIN.
- 3. ROOFING TO BE REMOVED SHALL BE REMOVED TO EXISTING STRUCTURAL ROOF DECK UNLESS OTHERWISE NOTED.
- 4. FOR ALL SALVAGED ITEMS TO BE REUSED, CONTRACTOR SHALL THOROUGHLY CLEAN AND PREPARE FOR NEW FINISH.
- 5. EXISTING SQUARE FOOTAGES OF ROOF AREAS, DIMENSIONS, AND DESCRIPTIONS OF EXISTING ROOF ASSEMBLIES SHOWN ARE BASED ON OWNER RECORD DRAWINGS AND ARE NOT TO BE RELIED UPON FOR BID TAKE-OFF; G.C. SHALL FIELD VERIFY EXISTING CONDITIONS.
- 6. DURING ROOFING ASSEMBLY REMOVAL, CONTRACTOR SHALL INSTALL TEMPORARY OR PERMANENT FILLER MATERIAL (SUCH AS SEALANT BACKER RODS OR SIMILAR MATERIAL) IN ALL PRE-CAST CONCRETE ROOF JOINTS OR OTHER SUCH OPENINGS TO MINIMIZE DEBRIS AND DIRT FROM ENTERING THE BUILDING DURING THE DEMO PROCESS.
- 7. COORDINATE REMOVAL AND REINSTALLATION OF (E) LIGHTNING PROTECTION SYSTEM COMPONENTS WITH LIGHTNING PROTECTION SUBCONTRACTOR.

EXISTING ROOFING ASSEMBLY

SBS CAP SHEETING O/ B.U.R. 1/2" FIBER BOARD COVER BOARD - FULLY ADHERED ±2-1/2" RIGID INSULATION - FULLY ADHERED OVER PRECAST CONCRETE DOUBLE-TEE OR HOLLOW CORE SLAB ROOF DECK

KEY NOTES: (NOT ALL NOTES ARE USED ON THIS SHEET)

- (E) B.U.R., PROTECTION BOARD, INSULATION, & CRICKETS TO BE REMOVED DOWN TO (E) CONC. ROOF DECK; (TYP).
- (E) LIGHTNING PROTECTION SPIKE AND ASSOCIATED CABLING TO BE DETACHED FROM (E) AND SET ASIDE FOR REINSTALLATION ON (N) ROOF; DO NOT DISCONNECT FROM BUILDING EXTERIOR WALLS OR BUILDING INTERIOR; (TYP.)
- (E) PRIMARY/OVERFLOW ROOF DRAIN TO REMAIN; PROVIDE TEMP. COVER DURING DEMOLITION TO PREVENT DEBRIS FROM ENTERING DRAIN PIPE AND REMOVE TEMP. COVER AT END OF WORK DAY, OR DURING PRECIPITATION EVENT. CAST—IRON DRAIN SCREENS TO REMAIN
- (4) (E) PLAZA W/BRICK PAVERS BELOW; PROTECT DURING CONSTRUCTION
- (5) (E) PRECAST PARAPET TO REMAIN; (TYP.)
- (E) PENTHOUSE ACCESS DOORS TO REMAIN; PROTECT DURING CONSTRUCTION AND DO NOT OBSTRUCT DURING WORK WITHOUT OWNER APPROVAL IN ADVANCE; (TYP.)
- (7) (E) ELECTRICAL DUPLEX CONVENIENCE OUTLET
- (E) PIPE VENT TO REMAIN; IF UNCAPPED, PROTECT DURING DEMO. W/TEMP. SCREEN COVER TO PREVENT DEBRIS FROM ENTERING PIPE W/O OBSTRUCTING VENT; (TYP.)
- (E) MECH. EXHAUST TO REMAIN; PROTECT DURING CONSTRUCTION; REMOVE (E) BASE FLASHING & PREPARE FOR (N) BASE FLASHING PER ROOF MFR.
- (E) CONDUIT ROOF PENETRATION TO REMAIN; REMOVE (E) BOOT FLASHING AND PREPARE FOR (N) BOOT FLASHING PER ROOF MFR.
- (11) (E) MTL. COPING TO BE REMOVED
- (12) (E) EXPANSION JOINT; REMOVE AND REPLACE (E) CAP FLASHING
- (13) (E) LAMBS TONGUE DRAINAGE OUTLETS FROM ROOF AREA ABOVE TO REMAIN
- (E) HVAC OUTSIDE AIR INTAKE LOUVER IN PENTHOUSE WALL TO REMAIN; COORDINATE SHUTDOWN OF AIR—HANDLING UNITS W/ OWNER PRIOR TO DEMOLITION & ROOFING WORK IN THIS AREA
- (E) PREFABRICATED METAL PANEL MECHANICAL PENTHOUSE ENCLOSURE TO REMAIN
- (16) (E) WOODEN ACCESS STEPS TO BE REMOVED
- (E) CRAC UNIT ON CONC. PAD TO REMAIN; CUT (E) ROOFING ASSEMBLY AROUND CONCRETE PERIMETER BELOW PAD; ROOFING TO REMAIN; SEE XX/XXXX
- (E) CURBED CABLE PENETRATION SLEEVE AND CAP FLASHING TO BE REMOVED & REINSTALLED; RE-FLASH AND MOUNT IN (E) CURB
- (19) (E) STANDPIPE & VALVE TO REMAIN
- (E) OVERFLOW ROOF DRAIN OUTLET @ APPROXIMATELY 12" A.F.G. TO REMAIN; (SHOWN FOR REFERENCE ONLY)
- (21) (E) PITCH PAN AND ABANDONED CONDUIT TO BE REMOVED
- (22) DASHED LINE INDICATES EXTERIOR WALLS OF VESTIBULE BELOW ROOF



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BID DOCUMENTS SET

SHEET TITLE:

DEMOLITION ROOF PLAN

DATE: 2/22/2023

SHEET NO.:



ROOF PLAN GENERAL NOTES:

- 1. ALL DIMENSIONS ARE TO FACE OF MASONRY WALL/PARAPET OR FACE OF EXTERIOR CEMENT PLASTER WALLS/PARAPETS, UNLESS NOTED OTHERWISE.
- 2. PROVIDE COMPATIBLE SEALANT AT ALL JOINTS OR CRACKS WHICH OCCUR WHERE MATERIALS INTERSECT UNLESS OTHERWISE NOTED.
- 3. SCRUB & CLEAN ALL ADJ. EXT. FINISHED SURFACES OF ANY ROOFING MAT'L ADHESIVE/SEALANT AND/OR STAINS (MASONRY, PRECAST, PTD. MTL., GLASS, ETC.) AT END OF PROJECT.
- 4. EXISTING STRUCTURAL ROOF DECKS ARE ASSUMED TO BE SLOPED PER LIMITED OWNER AS-BUILT PLANS.
- 5. PROVIDE TAPERED INSULATION CRICKET ON HIGH SIDE OF ALL MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT CURBS WIDER THAN 12 INCHES.
- 6. PROVIDE TAPERED INSULATION CRICKET TO DIVERT DRAINAGE TO ALL ROOF DRAINS AS INDICATED / AS NECESSARY; SLOPE 1/2 INCH/FT. MIN.; (TYP.)
- 7. ADDITIONAL CONDUIT AND VENT PENETRATION LOCATIONS MAY BE PRESENT. PROVIDE APPROPRIATE FLASHING PER 6&10/A9.00 AND AS REQUIRED BY ROOFING MFR. AS NECESSARY
- 8. EXTEND ANY ADDITIONAL OPEN (E) PLUMBING WASTE VENT PIPES TO A MINIMUM OF 6 INCHES ABOVE THE NEW ROOFING SURFACE PER IPC 903.1 WITH APPROPRIATE METAL PIPING. EXTEND ANY OPEN GAS VENTS TO A MINIMUM OF 12 INCHES ABOVE THE NEW ROOFING SURFACE PER IFGC 503.6.4 WITH APPROPRIATE STEEL PIPING, AND SHALL TERMINATE WITH LISTED CAP OR LISTED ROOF ASSEMBLY PER IFGC 503.6.7.
- 9. ALL NEW ROOFING ASSEMBLIES SHALL INCLUDE THE THICKNESS OF INSULATION NECESSARY TO ACHIEVE THE MINIMUM R-VALUES LISTED, BUT SHALL BE INCREASED IF NECESSARY TO ACHIEVE A MINIMUM LONG TERM THERMAL RESISTANCE (LTTR) VALUE OF R-30 BASED ON ASTM C1289-11A OR LATER DEPENDING ON THE SUBMITTED PRODUCT ASSEMBLY.
- 10. CONTRACTOR SHALL BE RESPONSIBLE TO LIFT ALL CURB MOUNTED MECHANICAL EQUIPMENT IF NECESSARY TO PROPERLY INSTALL NEW ROOFING TERMINATION/COUNTERFLASHING, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL REMOVED AND REINSTALLED ROOFTOP EQUIPMENT SHALL BE INSTALLED TO RESIST WIND PRESSURES NOTED BELOW.
- 11. SHEET METAL COPING VARIES IN WIDTH THROUGHOUT PROJECT. CONTRACTOR SHALL FIELD VERIFY & MATCH ALL EXISTING WIDTHS.
- 12. SEE DETAIL 3/A9.00 FOR TYP. FLASHING AT (E) WALLS
- 13. COORDINATE ROOF REPLACEMENT ACTIVITIES W/LIGHTNING PROTECTION SYSTEM REPLACEMENT WORK.
- 14. EXISTING SQUARE FOOTAGES OF ROOF AREAS, DIMENSIONS, AND DESCRIPTIONS OF EXISTING ROOF ASSEMBLIES SHOWN ARE BASED ON OWNER RECORD DRAWINGS AND ARE NOT TO BE RELIED UPON FOR BID TAKE-OFF; G.C. SHALL FIELD VERIFY EXISTING CONDITIONS.

KEY NOTES: (NOT ALL NOTES ARE USED ON THIS SHEET)

- (1) FULLY-ADHERED REINFORCED TPO ROOFING SYSTEM; SEE NEW ASSEMBLIES DESCRIBED BELOW, SPECIFICATIONS, AND 6/A9.00
- (2) MTL CAP FLASHING O/(N) EXPANSION JOINT; SEE 8/A9.00
- $\langle 3 \rangle$ CRICKET SLOPED 1/4:12 MIN. TO (E) ROOF DRAINS; (TYP.)
- (4) FULLY-ADHERED 30" WIDE WALKPADS BY ROOF MFR.
- $\langle 5 \rangle$ MTL. COPING; SEE 10/A9.00
- 6 TAPER SUMPS OF (E) ROOF AND OVERFLOW DRAIN PER ROOF MFR.; SEE 12/A9.00; (TYP.)
- 7> PRECAST CONC SPLASH BLOCK; SET ENTIRE FOOTPRINT O/WALKPAD
- (8) STL ACCESS LADDER & PLATFORM ANCHORED TO (E) EXT. WALL; SEE
- (9) WRAP TPO MEMBRANE ON SIDES AND TOP OF (E) CONC. PAD; SEE 1/A9.00
- 10 NOT USED
- (1) PROVIDE & INSTALL NEW STANDING SEAM SEAM CAPS/CLEATS AT (E) STANDING SEAM ROOF SEAMS; SEAL AS REQUIRED; (TYP.)
- $\langle 1 \rangle$ (E) PRECAST COPING & PERIMETER FLASHING SEE 4/A9.00
- (13) VENT PIPE PENETRATION; SEE 7/A9.00
- (14) DASHED LINE INDICATES TRANSITION IN ROOF DECK CONSTRUCTION AND
- ROOF AREA E SHALL ONLY HAVE 2-1/2" THICK INSULATION ALONG ITS NORTHERN PARAPET; A WEIGHTED AVERAGE INSULATION PROCEDURE HAS BEEN USED ON THIS PROJECT.
- (E) WALL SLEEVE CONTAINING LIGHTNING PROTECTION CABLE TO REMAIN; REPLACE SEALANT WITHIN SLEEVE; (TYP.)

NEW ROOFING ASSEMBLY

60 MIL TPO MEMBRANE - FULLY ADHERED 5/8" DENSDECK COVER BOARD R-30 MIN. POLYISO RIGID INSULATION VAPOR BARRIER OVER (E) PRECAST CONCRETE DOUBLE TEE STRUCTURAL ROOF DECK

WIND PRESSURE APPLICABLE TO ALL **WORK THIS SHEET:**

PRESSURES DERIVED BY ASD METHOD WITH A SAFETY FACTOR OF 2X. MINIMUM DESIGN UPLIFT-RESISTANCE CAPACITIES ARE AS FOLLOWS: (ZONES AS DEFINED BY ASCE 7-16)

ZONE 2 (ROOF PERIMETER 33 FT WIDE): 141.4 PSF ZONE 3 (ROOF CORNERS 11 FT X 33 FT EA. DIRECTION): 192.7 PSF

WIND LOAD DESIGN PERIMETER EDGE METAL SHALL BE AS FOLLOWS:

(ZONES AS DEFINED BY ASCE 7-16) ZONE 2 (ROOF EDGE PERIMETER, VERTICAL LOAD): ZONE 3 (ROOF CORNERS, VERTICAL LOAD):

ZONE 4 (ROOF EDGE PERIMETER, HORIZ. LOAD):

ZONE 5 (ROOF CORNERS, HORIZ. LOAD):

141.4 PSF 192.7 PSF 72.9 PSF 90.1 PSF

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BID DOCUMENTS

SHEET TITLE:

ROOF PLAN

DATE: 2/22/2023

SHEET NO.:

ROOF PLAN GENERAL NOTES:

- 1. ALL DIMENSIONS ARE TO FACE OF MASONRY WALL/PARAPET OR FACE OF EXTERIOR CEMENT PLASTER WALLS/PARAPETS, UNLESS NOTED OTHERWISE.
- PROVIDE COMPATIBLE SEALANT AT ALL JOINTS OR CRACKS WHICH OCCUR WHERE MATERIALS INTERSECT UNLESS OTHERWISE NOTED.
- SCRUB & CLEAN ALL ADJ. EXT. FINISHED SURFACES OF ANY ROOFING MAT'L ADHESIVE/SEALANT AND/OR STAINS (MASONRY, PRECAST, PTD. MTL., GLASS, ETC.) AT END OF PROJECT.
- 4. EXISTING STRUCTURAL ROOF DECKS ARE ASSUMED TO BE SLOPED PER LIMITED OWNER AS-BUILT PLANS.
- 5. PROVIDE TAPERED INSULATION CRICKET ON HIGH SIDE OF ALL MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT CURBS WIDER THAN 12 INCHES.
- 6. PROVIDE TAPERED INSULATION CRICKET TO DIVERT DRAINAGE TO ALL ROOF DRAINS AS INDICATED / AS NECESSARY; SLOPE 1/2 INCH/FT. MIN.; (TYP.)
- ADDITIONAL CONDUIT AND VENT PENETRATION LOCATIONS MAY BE PRESENT. PROVIDE APPROPRIATE FLASHING PER 6&10/A9.00 AND AS REQUIRED BY ROOFING MFR. AS NECESSARY
- 8. EXTEND ANY ADDITIONAL OPEN (E) PLUMBING WASTE VENT PIPES TO A MINIMUM OF 6 INCHES ABOVE THE NEW ROOFING SURFACE PER IPC 903.1 WITH APPROPRIATE METAL PIPING. EXTEND ANY OPEN GAS VENTS TO A MINIMUM OF 12 INCHES ABOVE THE NEW ROOFING SURFACE PER IFGC 503.6.4 WITH APPROPRIATE STEEL PIPING, AND SHALL TERMINATE WITH LISTED CAP OR LISTED ROOF ASSEMBLY PER IFGC 503.6.7.
- 9. ALL NEW ROOFING ASSEMBLIES SHALL INCLUDE THE THICKNESS OF INSULATION NECESSARY TO ACHIEVE THE MINIMUM R-VALUES LISTED, BUT SHALL BE INCREASED IF NECESSARY TO ACHIEVE A MINIMUM LONG TERM THERMAL RESISTANCE (LTTR) VALUE OF R-30 BASED ON ASTM C1289-11A OR LATER DEPENDING ON THE SUBMITTED PRODUCT ASSEMBLY.
- 10. CONTRACTOR SHALL BE RESPONSIBLE TO LIFT ALL CURB MOUNTED MECHANICAL EQUIPMENT IF NECESSARY TO PROPERLY INSTALL NEW ROOFING TERMINATION/COUNTERFLASHING, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL REMOVED AND REINSTALLED ROOFTOP EQUIPMENT SHALL BE INSTALLED TO RESIST WIND PRESSURES NOTED BELOW.
- 11. SHEET METAL COPING VARIES IN WIDTH THROUGHOUT PROJECT. CONTRACTOR SHALL FIELD VERIFY & MATCH ALL EXISTING WIDTHS.
- 12. SEE DETAIL 3/A9.00 FOR TYP. FLASHING AT (E) WALLS
- 13. COORDINATE ROOF REPLACEMENT ACTIVITIES W/LIGHTNING PROTECTION SYSTEM REPLACEMENT WORK.
- 14. EXISTING SQUARE FOOTAGES OF ROOF AREAS, DIMENSIONS, AND DESCRIPTIONS OF EXISTING ROOF ASSEMBLIES SHOWN ARE BASED ON OWNER RECORD DRAWINGS AND ARE NOT TO BE RELIED UPON FOR BID TAKE—OFF; G.C. SHALL FIELD VERIFY EXISTING CONDITIONS.

KEY NOTES: (NOT ALL NOTES ARE USED ON THIS SHEET)

- FULLY-ADHERED TPO ROOFING SYSTEM; SEE NEW ASSEMBLIES DESCRIBED BELOW, SPECIFICATIONS, AND 6/A9.00
- 2 MTL CAP FLASHING O/(N) EXPANSION JOINT; SEE 8/A9.00
- 3 CRICKET SLOPED 1/4:12 MIN. TO (E) ROOF DRAINS; (TYP.)
- 4) FULLY-ADHERED 30" WIDE WALKPADS BY ROOF MFR.
- 5 MTL. COPING; SEE 10/A9.00
- TAPER SUMPS OF (E) ROOF AND OVERFLOW DRAIN PER ROOF MFR.; SEE 12/A9.00; (TYP.)
- 7 PRECAST CONC SPLASH BLOCK; SET ENTIRE FOOTPRINT O/WALKPAD
- STL ACCESS LADDER & PLATFORM ANCHORED TO (E) EXT. WALL; SEE 2/A9.00
- 9 WRAP TPO MEMBRANE ON SIDES AND TOP OF (E) CONC. PAD; SEE 1/A9.00
- NOT USED
- PROVIDE & INSTALL NEW STANDING SEAM SEAM CAPS/CLEATS AT (E) STANDING SEAM ROOF SEAMS; SEAL AS REQUIRED; (TYP.)
- (E) PRECAST COPING & PERIMETER FLASHING SEE 4/A9.00
- 13 VENT PIPE PENETRATION; SEE 7/A9.00
- DASHED LINE INDICATES TRANSITION IN ROOF DECK CONSTRUCTION AND ELEVATION
- ROOF AREA E SHALL ONLY HAVE 2-1/2" THICK INSULATION ALONG ITS NORTHERN PARAPET; A WEIGHTED AVERAGE INSULATION PROCEDURE HAS BEEN USED ON THIS PROJECT.

NEW ROOFING ASSEMBLY

(ZONES AS DEFINED BY ASCE 7-16)

60 MIL TPO MEMBRANE - FULLY ADHERED
5/8" DENSDECK COVER BOARD
R-30 MIN. POLYISO RIGID INSULATION
VAPOR BARRIER
OVER (E) PRECAST CONCRETE DOUBLE TEE STRUCTURAL ROOF DECK

WIND PRESSURE APPLICABLE TO ALL WORK THIS SHEET:

PRESSURES DERIVED BY ASD METHOD WITH A SAFETY FACTOR OF 2X.

MINIMUM DESIGN UPLIFT-RESISTANCE CAPACITIES ARE AS FOLLOWS:

ZONE 2 (ROOF PERIMETER 33 FT WIDE): 141.4 PSF ZONE 3 (ROOF CORNERS 11 FT X 33 FT EA. DIRECTION): 192.7 PSF

WIND LOAD DESIGN PERIMETER EDGE METAL SHALL BE AS FOLLOWS: (ZONES AS DEFINED BY ASCE 7-16)

ZONE 2 (ROOF EDGE PERIMETER, VERTICAL LOAD): ZONE 3 (ROOF CORNERS, VERTICAL LOAD): ZONE 4 (ROOF EDGE PERIMETER, HORIZ. LOAD): ZONE 5 (ROOF CORNERS, HORIZ. LOAD):

141.4 PSF 192.7 PSF 72.9 PSF 90.1 PSF Juiversity of Colorac



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COLUMBINE HALL ROOF REPLACEMENTONIVERSITY OF COLORADO, COLORADO 1420 AUSTIN BLUFFS PKWY.

BID DOCUMENTS

SHEET TITLE:

ROOF PLAN

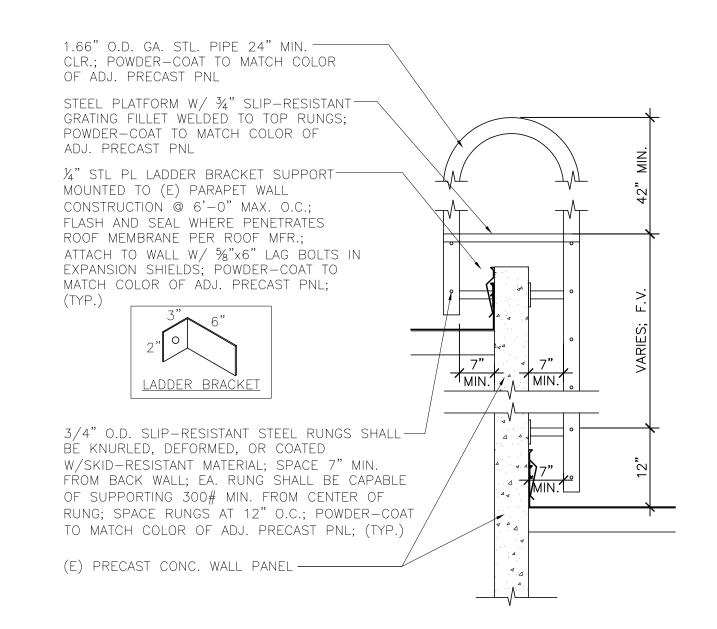
DATE: 2/22/2023

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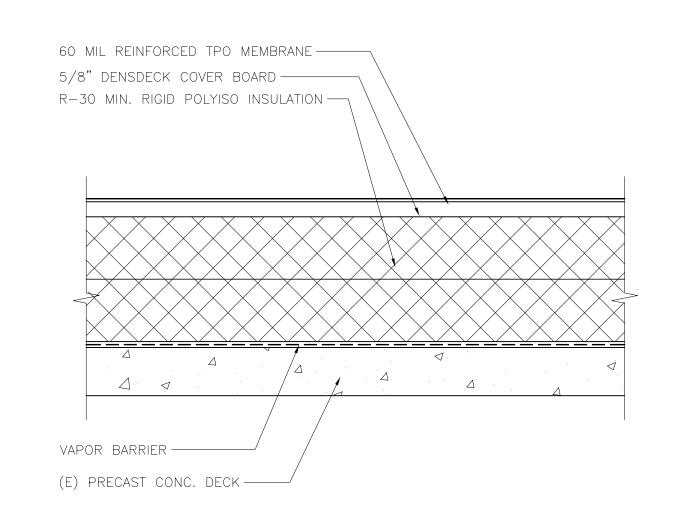
SHEET NO.:

A2.10

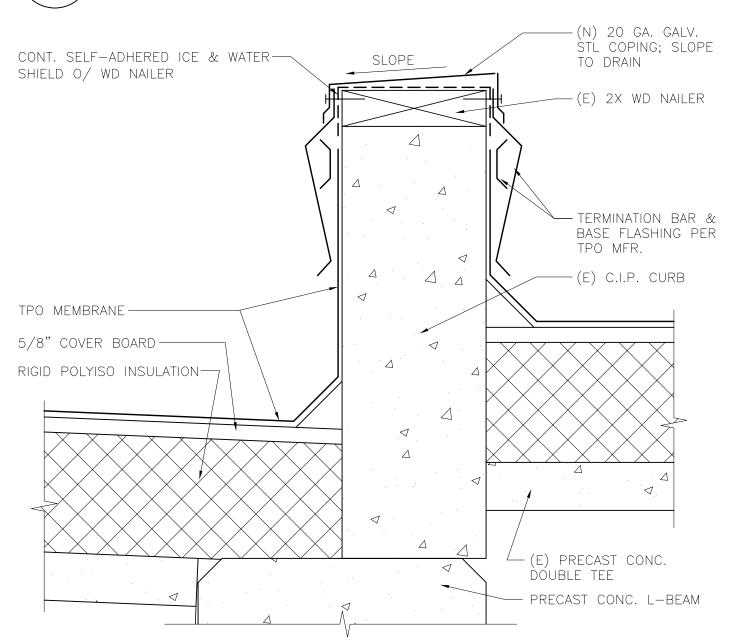
(E) CONC. PAD FLASHING A9.00 SCALE: 1" = 1'-0"



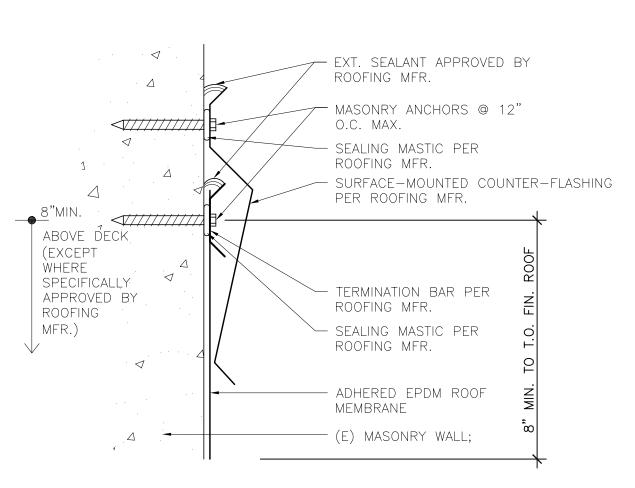
ROOF ACCESS LADDER SCALE: 1-1/2" = 1'-0"



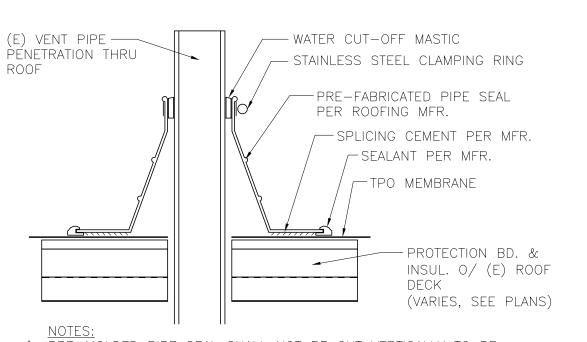
TYP. ROOF ASSEMBLY A9.00 SCALE: 3'' = 1'-0''



INTERMEDIATE ROOF CURB DTL. A9.00 SCALE: 3" = 1'-0"



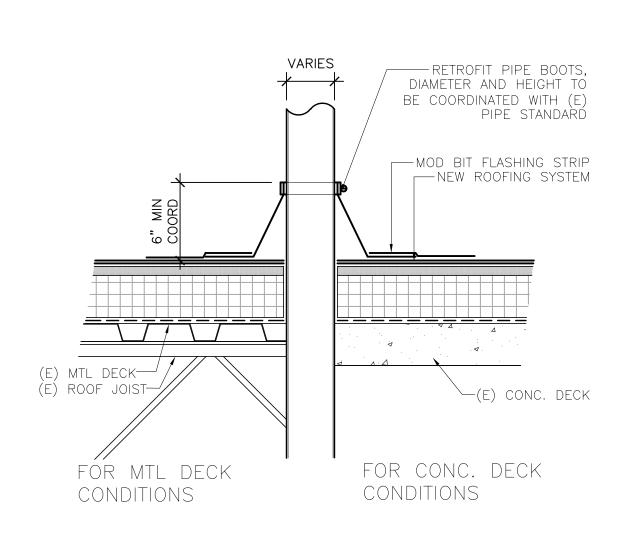
WALL FLASHING DETAIL SCALE: 3" = 1'-0"



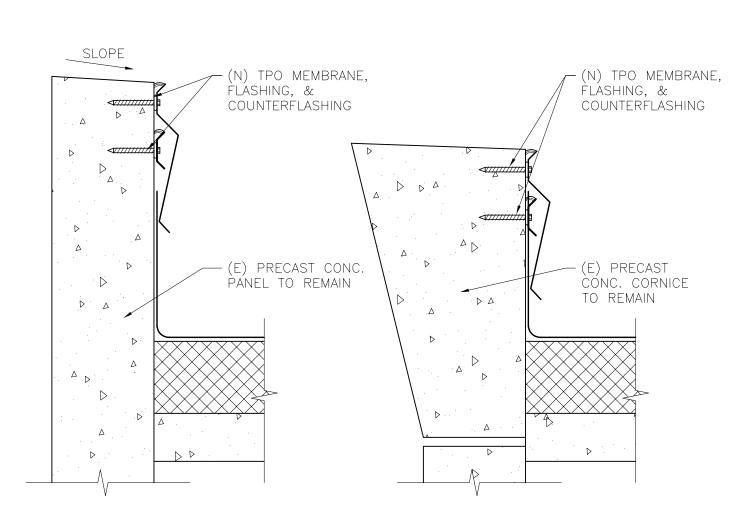
- NOTES:

 1. PRE-MOLDED PIPE SEAL SHALL NOT BE CUT VERTICALLY TO BE INSTALLED.
- 2. DECK FLANGE SHALL NOT BE TRIMMED. 3. WHEN PRE-MOLDED PIPE SEAL CANNOT BE INSTALLED, USE FIELD-FABRICATED PIPE SEAL
- 4. PRE-MOLDED PIPE SEAL MUST HAVE INTACT RIB AT TOP EDGE, REGARDLESS OF PIPE DIAMETER.
- 5. CONFIRM OTHER INSTALLATION REQ'TS W/MFR.

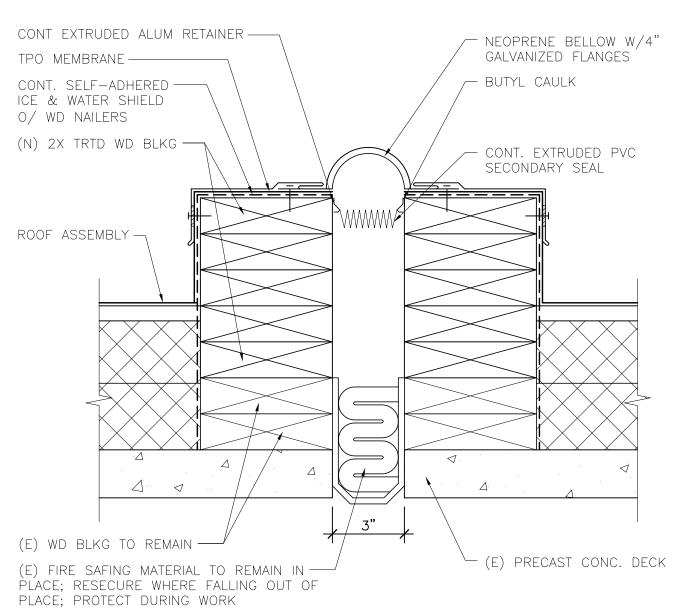
TYP. ROOF VENT DETAIL A9.00/ SCALE: N.T.S.



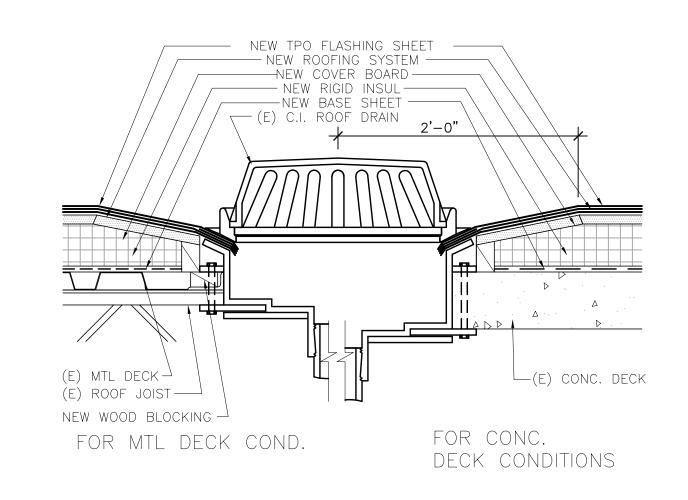
TYP. MECH. FLUE FLASHING DTL. (A9.00) SCALE: 1-1/2" = 1'-0"



PARAPET DETAILS SCALE: 1-1/2" = 1'-0"



EXPANSION JOINT A9.00/ SCALE: 3" = 1'-0"



NOTE: REPLACE ANY (E) PLASTIC DRAIN COVERS W/(N) CAST IRON COVERS

TYP. ROOF DRAIN SUMP A9.00/ SCALE: 1-1/2" = 1'-0"

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AC OL COLUMBINE FUNIVERSITY (1420 AUSTIN COLORADO S

BID DOCUMENTS

SHEET TITLE:

DETAILS

DATE: 2/22/2023

SHEET NO.: A9.00