

ABBREVIATIONS

Table of abbreviations with columns for letter codes and their corresponding full names, organized in a grid format.

UNIVERSITY OF COLORADO, COLORADO SPRINGS
REPLACE ROOF, COLUMBINE HALL
BID DRAWINGS
PROJECT NUMBER: 2019-106M22
FEBRUARY 22, 2023

GENERAL NOTES

- 1. THE FOLLOWING GENERAL NOTES APPLY TO THE ENTIRE SET OF DRAWINGS AND ARE NOT SPECIFIC TO ANY ONE DISCIPLINE. THESE NOTES SUPPLEMENT THE SPECIFICATIONS.
2. ALL WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH CURRENT FEDERAL, STATE, AND LOCAL CODES.
3. THE CONSTRUCTION, REMODEL OR DEMOLITION OF A BUILDING SHALL COMPLY WITH IFC CHAPTER 14 AND NFPA 241.
... 19. PROVIDE ACCESS PANELS WHERE NECESSARY TO PROVIDE ACCESS TO FIRE AND/OR SMOKE DAMPERS, ELECTRICAL BOXES AND EQUIPMENT, PUMPS, VALVES, ETC. WHERE SUCH PANELS IS IN A RATED ASSEMBLY. IT SHALL BE OF THE SAME RATING AS THAT ASSEMBLY. COORDINATE WITH MECHANICAL AND ELECTRICAL FOR ADDITIONAL ACCESS PANELS THAT MAY BE REQUIRED BUT NOT SPECIFICALLY NOTED ON ARCHITECTURAL PLANS.

DIRECTORY

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PROJECT SCOPE OF WORK

PROJECT CONSISTS OF DEMOLITION OF EXISTING SBS MOD CAP ROOFING AND REPLACING WITH NEW TPO MEMBRANE ROOF ASSEMBLY. WORK ALSO INCLUDES REPLACEMENT OF ROOF FLASHINGS AND ASSOCIATED ROOFING ACCESSORIES, AS WELL AS A NEW ROOF ACCESS LADDER.
BASE BID: REPLACE ROOF AREAS A, B, D, & F; 15-YEAR ROOF WARRANTY
ADDITIVE ALTERNATE #1: REPLACE ROOF AREA E
ADDITIVE ALTERNATE #2: REPLACE ROOF AREA C
DEFERRED SUBMITTAL/DELEGATED DESIGN: LIGHTNING PROTECTION SYSTEM
THE BUILDING HAS AN EXISTING LIGHTNING-PROTECTION SYSTEM THAT WILL BE AFFECTED BY ROOF REPLACEMENT WORK. CONTRACTOR SHALL ENGAGE A QUALIFIED LIGHTNING PROTECTION SPECIALIST TO FIELD-VERIFY EXISTING CONDITIONS, TO DIRECT REMOVAL & REINSTALLATION OF EXISTING LIGHTNING PROTECTION COMPONENTS TO REMAIN, AND TO DESIGN, SPECIFY, AND INSTALL NEW LIGHTNING PROTECTION COMPONENTS TO BRING THE BUILDING IN COMPLIANCE WITH CURRENT LIGHTNING PROTECTION STANDARDS. EXISTING LIGHTNING PROTECTION COMPONENTS SHOWN ON ROOF DEMOLITION PLANS FOR REFERENCE ONLY. THE LIGHTNING PROTECTION SYSTEM SHALL CONFORM TO THE REQUIREMENTS AND STANDARDS FOR LIGHTNING PROTECTION SYSTEMS OF UL AND NFPA. UPON COMPLETION, THE CONTRACTOR SHALL FURNISH A LPI MASTER INSTALLATION CERTIFICATE.

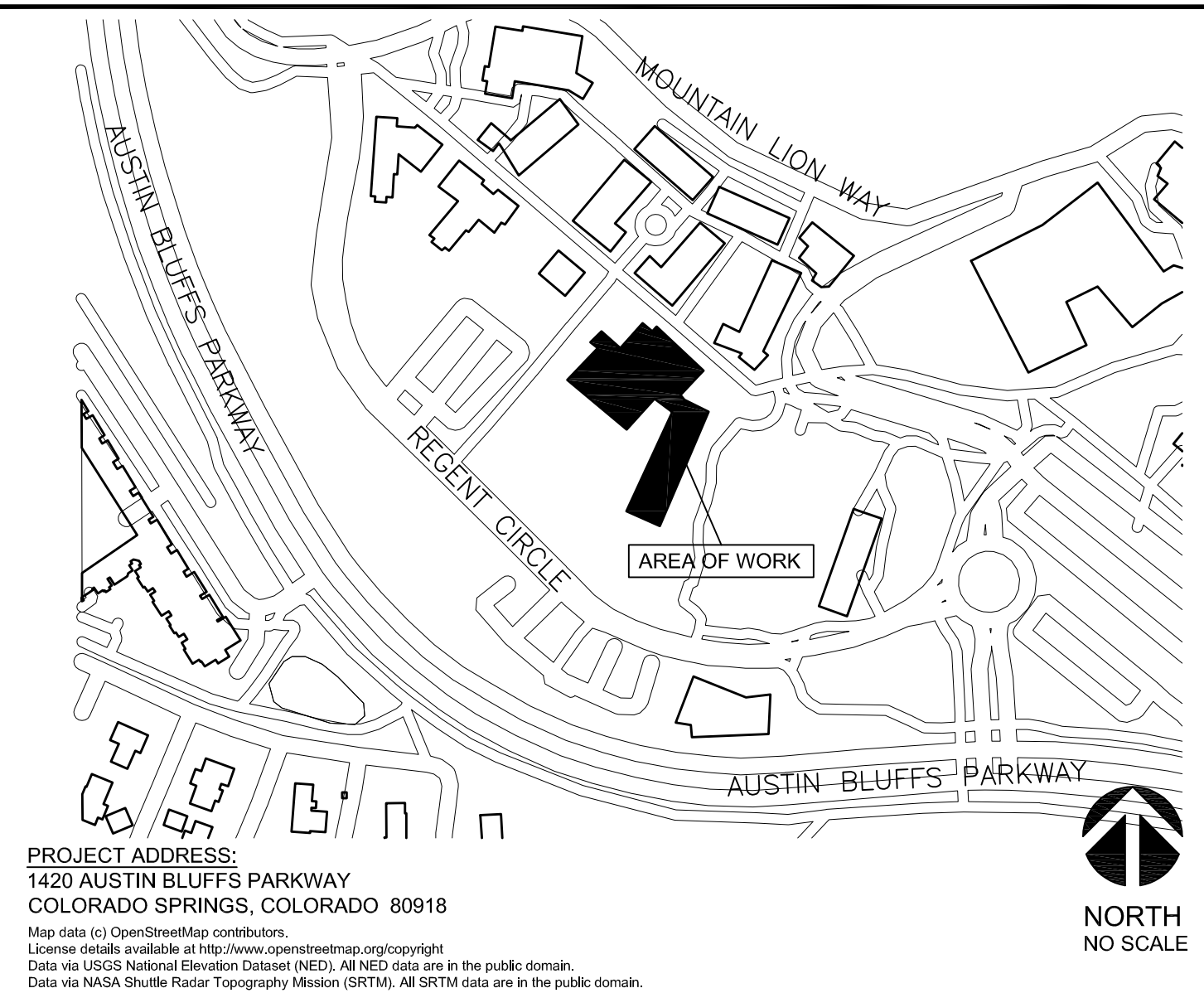
PROJECT CODE SUMMARY

Table with project codes and descriptions: APPLICABLE CODES: 2021 IBC, IEBC, IECC, IFC, AND IMC; FIRE DEPARTMENT AHJ: COLORADO SPRINGS FIRE DEPT.; FIRE ALARM: YES; DATE OF ORIGINAL CONSTRUCTION: 1996; LAST MAJOR ADDITION/RENOVATION: 2015; CONSTRUCTION TYPE: TYPE II - F-R; OCCUPANCY GROUP: B, A-3; NUMBER OF STORIES: 4; BUILDING HEIGHT: 56'-0"; FIRE SPRINKLERED: YES; BUILDING AREA (IN SQUARE FEET): 107,571 SF; TOTAL AREA OF ROOF: 29,850.

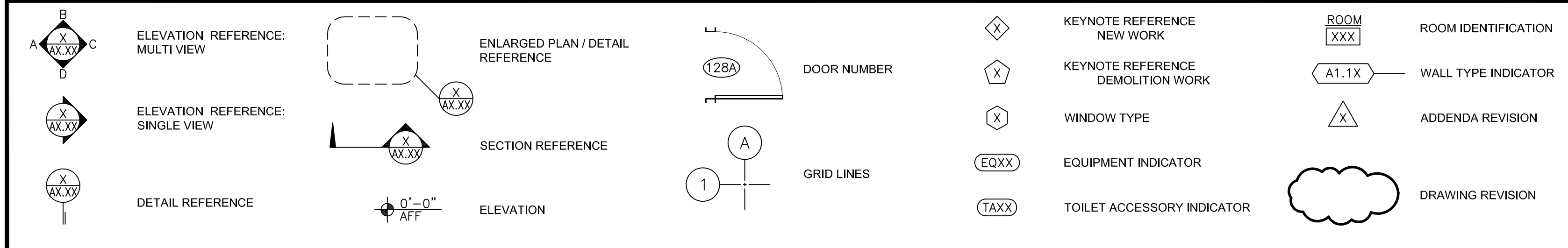
DRAWING INDEX

Table listing drawing titles and sheet numbers: GENERAL: G0.00 TITLE, DIRECTORY, DRAWING INDEX, CODE SUMMARY, VICINITY MAP, GENERAL NOTES, ABBREVIATIONS, AND ARCHITECTURAL SYMBOL LEGEND; ARCHITECTURAL DRAWINGS: A0.00 SITE PLAN; A1.00 DEMOLITION ROOF PLAN - WEST; A1.10 DEMOLITION ROOF PLAN - EAST; A2.00 ROOF PLAN - WEST; A2.10 ROOF PLAN - EAST; A9.00 ROOF DETAILS.

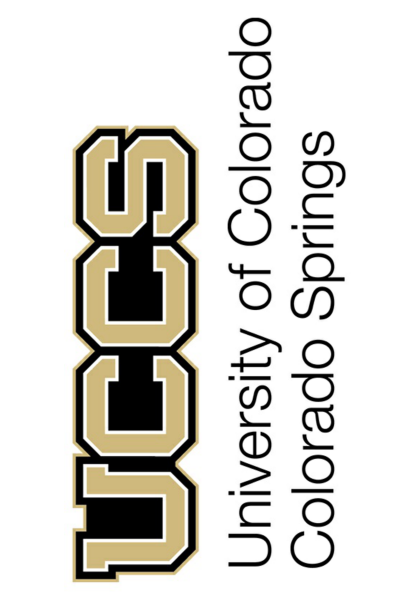
VICINITY MAP



ARCHITECTURAL SYMBOL LEGEND



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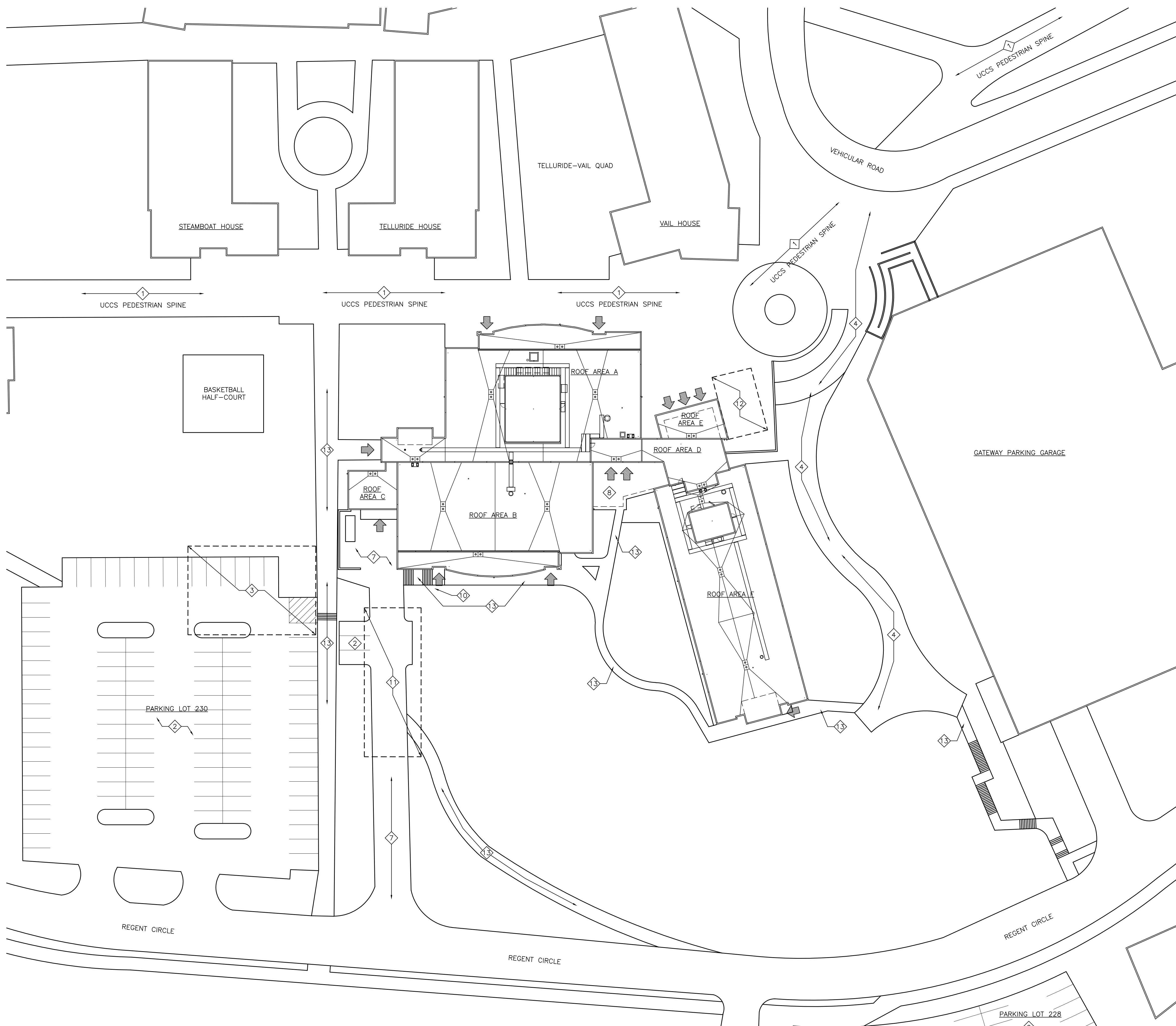


COLUMBINE HALL ROOF REPLACEMENT
UNIVERSITY OF COLORADO, COLORADO SPRINGS
1420 AUSTIN BLUFFS PKWY.
COLORADO SPRINGS, CO 80918

BID DOCUMENTS SET

SHEET TITLE: TITLE SHEET AND PROJECT INFORMATION
DATE: 2/22/2023
REV:
SHEET NO.: GO.00

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- GENERAL NOTES:**
- PHASING OF ROOF REPLACEMENT WORK SHALL BE CONDUCTED TO MINIMIZE STAGING, MATERIAL STORAGE, AND LABOR FOOT TRAFFIC OVER NEWLY REPLACED ROOFING SYSTEMS. SUGGESTED PHASING ONLY IS SHOWN ON THIS PLAN; OTHER PLANS COMMUNICATE TOTAL PROJECT SCOPE OF WORK.
 - CONTRACTOR SHALL SUBMIT A PHASING & STAGING PLAN DURING THE PRECONSTRUCTION MEETING CONFIRMING GENERAL CONFORMANCE WITH THIS PHASING PLAN. CONTRACTOR MAY SUGGEST ALTERATIONS TO THIS PLAN AS CONSIDERED JUSTIFIED AND ACCEPTABLE TO UCCS PROJECT MANAGER.
 - ALL STAGING AREAS TEMPORARILY OCCUPIED BY THE CONTRACTOR SHALL HAVE EXTERIOR LANDSCAPING, PAVING, SITE ELEMENTS, ETC. RESTORED TO AN IDENTICAL STATE TO THAT PRIOR TO COMMENCEMENT OF WORK. REMOVE ALL MATERIALS, EQUIPMENT, AND DEBRIS. PAVING AREAS SHALL BE SWEEPED AND MAGNET-CLEANED.
 - ON EXISTING ADJACENT AREAS OF ROOFING NOT BEING REPLACED UNDER THIS PROJECT SCOPE, CONTRACTOR SHALL PROTECT DURING CONSTRUCTION AS NECESSARY. NO CONSTRUCTION ACTIVITY, INCLUDING FOOT TRAFFIC AND MATERIAL STORAGE, SHALL TAKE PLACE ON AREAS OF ROOF OUTSIDE OF PROJECT SCOPE.

- KEY NOTES:**
- PEDESTRIAN SPINE WALKWAY/FIRE LANE MUST REMAIN OPEN AND PROTECTED AS NECESSARY DURING CONSTRUCTION
 - (E) PARKING SPACES MUST REMAIN UNOBSTRUCTED DURING CONSTRUCTION
 - FINAL LOCATION OF OWNER-PREFERRED STAGING AREA IN PARKING LOT 230 TO BE COORDINATED WITH OWNER. PROVIDE TEMPORARY FENCING AND SIGNAGE TO AN EXTENT ACCEPTABLE TO OWNER, AND REPAIR ALL LANDSCAPING TO EXISTING STATE BEFORE COMMENCEMENT OF WORK.
 - FIRE LANE MUST REMAIN OPEN AND UNOBSTRUCTED DURING CONSTRUCTION
 - NOT USED
 - NOT USED
 - MAINTAIN OWNER ACCESS TO SOUTH LOADING DOCK AT ALL TIMES, UNLESS APPROVED IN ADVANCE
 - (E) EXTERIOR PLAZA; PROTECT DURING CONSTRUCTION
 - NOT USED
 - POSSIBLE DAMAGED LIGHTNING PROTECTION SYSTEM GROUND CONNECTION; CONTRACTOR TO INVESTIGATE AND REPAIR IF REQUIRED
 - OWNER-PREFERRED TEMPORARY CRANE STAGING LOCATION; MUST BE SCHEDULED AND APPROVED BY OWNER IN ADVANCE
 - THIS STAGING AREA IS APPROVED BY OWNER FOR LIGHT VEHICLE LIFTING AND REMOVING DEBRIS FROM ROOF AREA E AND LADDER ACCESS ONLY; NO GROUND-LEVEL STORAGE OF MATERIALS ALLOWED IN THIS AREA
 - PEDESTRIAN ROUTES MUST REMAIN OPEN AND PROTECTED AS REQUIRED FROM OVERHEAD WORK; TEMPORARY CLOSURE OF ROUTES ACCEPTABLE WITH OWNER'S PRIOR APPROVAL

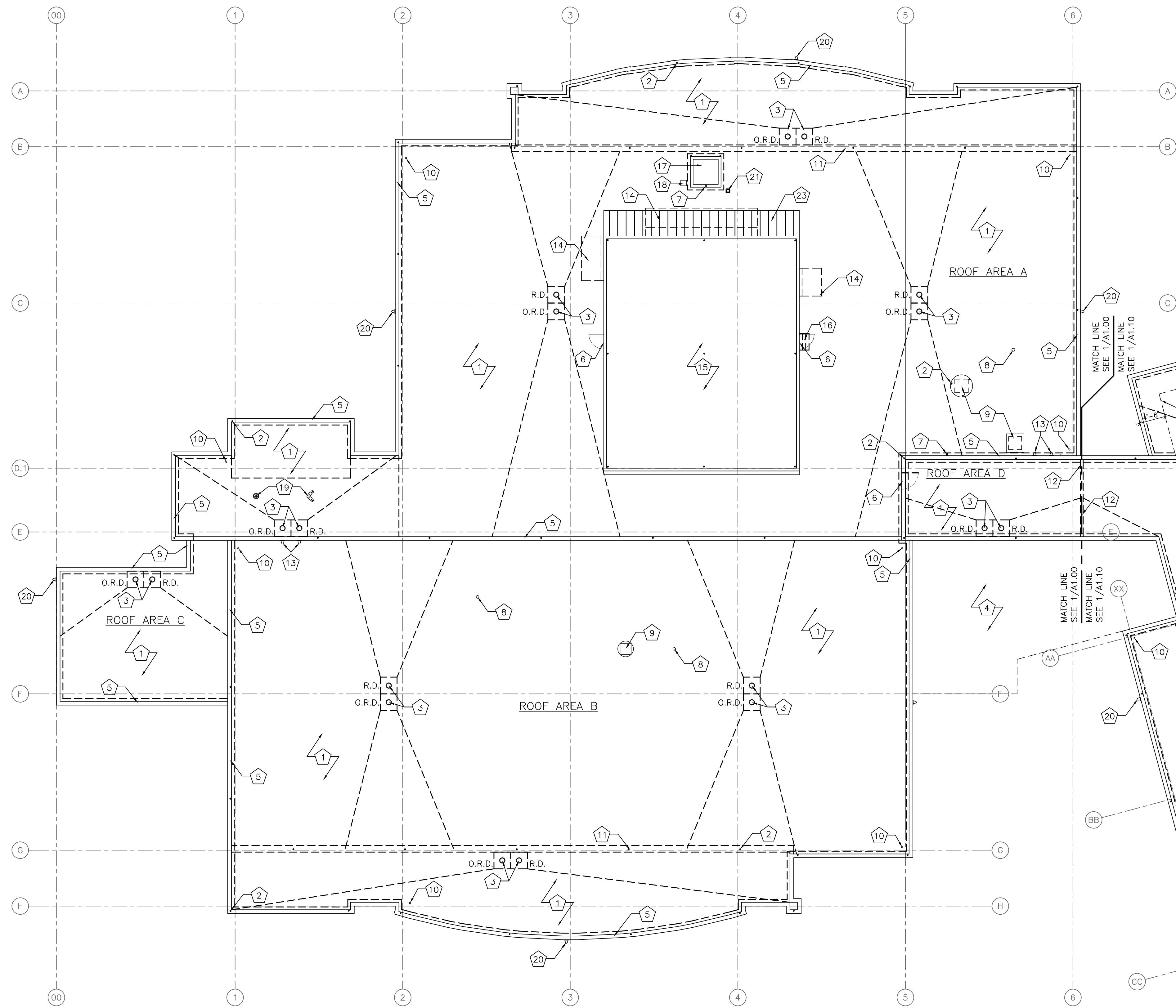
- LEGEND:**
- BUILDING ENTRY/EGRESS POINT - MAINTAIN OWNER/PUBLIC ACCESS AT ALL TIMES UNLESS SPECIFICALLY APPROVED BY OWNER IN ADVANCE ON A SCHEDULED BASIS. IF WORK IS TEMPORARILY OCCURRING DIRECTLY ABOVE THESE POINTS (E.G.: LIFTING UP MATERIALS, LIFTING DOWN DEBRIS, ETC.) AREAS MAY BE TEMPORARILY BARRICADED OFF AS PERMITTED BY A.H.J., OR ALTERNATIVELY AT CONTRACTOR'S OPTION, TEMPORARY COVERED WALKWAYS IN CONFORMANCE WITH IBC 3306 MAY BE ERECTED TO MAINTAIN PEDESTRIAN USE DURING WORK.

1 SITE PLAN
A0.00 SCALE: 1" = 30'-0"

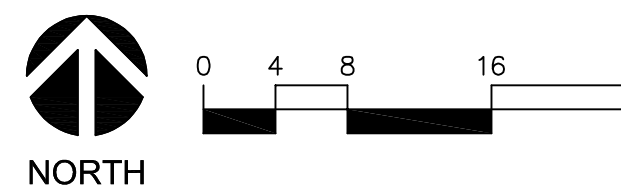
NORTH

0 15 30 60

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1 DEMOLITION ROOF PLAN - WEST
A1.00 SCALE: 3/32" = 1'-0"



DEMOLITION ROOF PLAN GENERAL NOTES:

1. CONTRACTOR SHALL LEGALLY DISPOSE OF ALL DEMOLITION/CONSTRUCTION WASTE.
2. DURING CONSTRUCTION, CONTRACTOR SHALL PROTECT ALL EXISTING ELEMENTS TO REMAIN.
3. ROOFING TO BE REMOVED SHALL BE REMOVED TO EXISTING STRUCTURAL ROOF DECK UNLESS OTHERWISE NOTED.
4. FOR ALL SALVAGED ITEMS TO BE REUSED, CONTRACTOR SHALL THOROUGHLY CLEAN AND PREPARE FOR NEW FINISH.
5. EXISTING SQUARE FOOTAGES OF ROOF AREAS, DIMENSIONS, AND DESCRIPTIONS OF EXISTING ROOF ASSEMBLIES SHOWN ARE BASED ON OWNER RECORD DRAWINGS AND ARE NOT TO BE RELIED UPON FOR BID TAKE-OFF; G.C. SHALL FIELD VERIFY EXISTING CONDITIONS.
6. DURING ROOFING ASSEMBLY REMOVAL, CONTRACTOR SHALL INSTALL TEMPORARY OR PERMANENT FILLER MATERIAL (SUCH AS SEALANT BACKER RODS OR SIMILAR MATERIAL) IN ALL PRE-CAST CONCRETE ROOF JOINTS OR OTHER SUCH OPENINGS TO MINIMIZE DEBRIS AND DIRT FROM ENTERING THE BUILDING DURING THE DEMO PROCESS.
7. COORDINATE REMOVAL AND REINSTALLATION OF (E) LIGHTNING PROTECTION SYSTEM COMPONENTS WITH LIGHTNING PROTECTION SUBCONTRACTOR.

EXISTING ROOFING ASSEMBLY

SBS CAP SHEETING O/B.U.R.
1/2" FIBER BOARD COVER BOARD - FULLY ADHERED
2-1/2" RIGID INSULATION - FULLY ADHERED
OVER PRECAST CONCRETE DOUBLE-TEE OR HOLLOW CORE SLAB ROOF DECK

KEY NOTES: (NOT ALL NOTES ARE USED ON THIS SHEET)

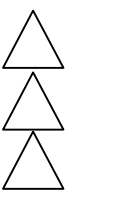
- 1 (E) B.U.R., PROTECTION BOARD, INSULATION, & CRICKETS TO BE REMOVED DOWN TO (E) CONC. ROOF DECK; (TYP.)
- 2 (E) LIGHTNING PROTECTION SPIKE AND ASSOCIATED CABLING TO BE DETACHED FROM (E) AND SET ASIDE FOR REINSTALLATION ON (N) ROOF; DO NOT DISCONNECT FROM BUILDING EXTERIOR WALLS OR BUILDING INTERIOR; (TYP.)
- 3 (E) PRIMARY/OVERFLOW ROOF DRAIN TO REMAIN; PROVIDE TEMP. COVER DURING DEMOLITION TO PREVENT DEBRIS FROM ENTERING DRAIN PIPE AND REMOVE TEMP. COVER AT END OF WORK DAY, OR DURING PRECIPITATION EVENT. CAST-IRON DRAIN SCREENS TO REMAIN
- 4 (E) PLAZA W/BRICK PAVERS BELOW; PROTECT DURING CONSTRUCTION
- 5 (E) PRECAST PARAPET TO REMAIN; (TYP.)
- 6 (E) PENTHOUSE ACCESS DOORS TO REMAIN; PROTECT DURING CONSTRUCTION AND DO NOT OBSTRUCT DURING WORK WITHOUT OWNER APPROVAL IN ADVANCE; (TYP.)
- 7 (E) ELECTRICAL DUPLEX CONVENIENCE OUTLET
- 8 (E) PIPE VENT TO REMAIN; IF UNCAPPED, PROTECT DURING DEMO. W/ TEMP. SCREEN COVER TO PREVENT DEBRIS FROM ENTERING PIPE W/O OBSTRUCTING VENT; (TYP.)
- 9 (E) MECH. EXHAUST TO REMAIN; PROTECT DURING CONSTRUCTION; REMOVE (E) BASE FLASHING & PREPARE FOR (N) BASE FLASHING PER ROOF MFR.
- 10 (E) CONDUIT ROOF PENETRATION TO REMAIN; REMOVE (E) BOOT FLASHING AND PREPARE FOR (N) BOOT FLASHING PER ROOF MFR.
- 11 (E) MTL. COPING TO BE REMOVED
- 12 (E) EXPANSION JOINT; REMOVE AND REPLACE (E) CAP FLASHING
- 13 (E) LAMBS TONGUE DRAINAGE OUTLETS FROM ROOF AREA ABOVE TO REMAIN
- 14 (E) HVAC OUTSIDE AIR INTAKE LOUVER IN PENTHOUSE WALL TO REMAIN; COORDINATE SHUTDOWN OF AIR-HANDLING UNITS W/ OWNER PRIOR TO DEMOLITION & ROOFING WORK IN THIS AREA
- 15 (E) PREFABRICATED METAL PANEL MECHANICAL PENTHOUSE ENCLOSURE TO REMAIN
- 16 (E) WOODEN ACCESS STEPS TO BE REMOVED
- 17 (E) CRAC UNIT ON CONC. PAD TO REMAIN; CUT (E) ROOFING ASSEMBLY AROUND CONCRETE PERIMETER BELOW PAD; ROOFING TO REMAIN; SEE 1/A9.00
- 18 (E) CURBED CABLE PENETRATION SLEEVE AND CAP FLASHING TO BE REMOVED & REINSTALLED; RE-FLASH AND MOUNT IN (E) CURB
- 19 (E) STANDPIPE & VALVE TO REMAIN
- 20 (E) OVERFLOW ROOF DRAIN OUTLET @ APPROXIMATELY 12" A.F.G. TO REMAIN; (SHOWN FOR REFERENCE ONLY)
- 21 (E) PITCH PAN AND ABANDONED CONDUIT TO BE REMOVED
- 22 DASHED LINE INDICATES EXTERIOR WALLS OF VESTIBULE BELOW ROOF
- 23 (E) STANDING SEAM ROOFING; PROTECT DURING CONSTRUCTION

SHEET TITLE:

DEMOLITION
ROOF PLAN

DATE: 2/22/2023

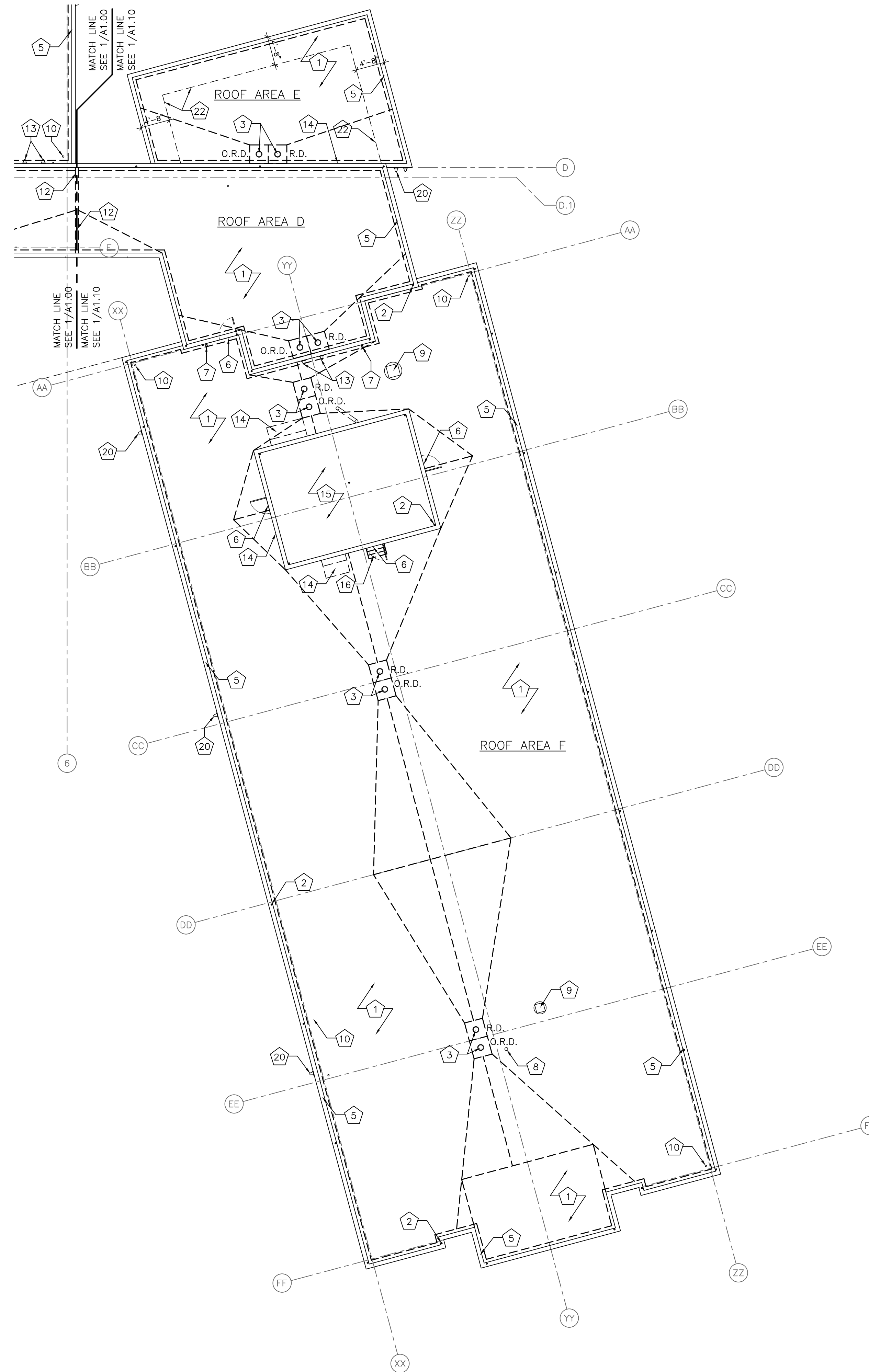
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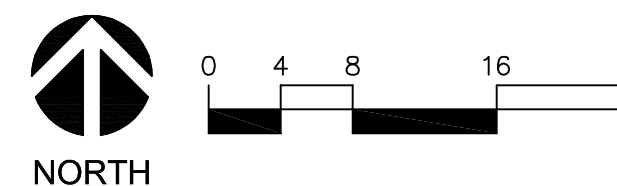
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1 DEMOLITION ROOF PLAN - EAST
A1.10 SCALE: 3/32" = 1'-0"



DEMOLITION ROOF PLAN GENERAL NOTES:

- CONTRACTOR SHALL LEGALLY DISPOSE OF ALL DEMOLITION/CONSTRUCTION WASTE.
- DURING CONSTRUCTION, CONTRACTOR SHALL PROTECT ALL EXISTING ELEMENTS TO REMAIN.
- ROOFING TO BE REMOVED SHALL BE REMOVED TO EXISTING STRUCTURAL ROOF DECK UNLESS OTHERWISE NOTED.
- FOR ALL SALVAGED ITEMS TO BE REUSED, CONTRACTOR SHALL THOROUGHLY CLEAN AND PREPARE FOR NEW FINISH.
- EXISTING SQUARE FOOTAGES OF ROOF AREAS, DIMENSIONS, AND DESCRIPTIONS OF EXISTING ROOF ASSEMBLIES SHOWN ARE BASED ON OWNER RECORD DRAWINGS AND ARE NOT TO BE RELIED UPON FOR BID TAKE-OFF; G.C. SHALL FIELD VERIFY EXISTING CONDITIONS.
- DURING ROOFING ASSEMBLY REMOVAL, CONTRACTOR SHALL INSTALL TEMPORARY OR PERMANENT FILLER MATERIAL (SUCH AS SEALANT BACKER RODS OR SIMILAR MATERIAL) IN ALL PRE-CAST CONCRETE ROOF JOINTS OR OTHER SUCH OPENINGS TO MINIMIZE DEBRIS AND DIRT FROM ENTERING THE BUILDING DURING THE DEMO PROCESS.
- COORDINATE REMOVAL AND REINSTALLATION OF (E) LIGHTNING PROTECTION SYSTEM COMPONENTS WITH LIGHTNING PROTECTION SUBCONTRACTOR.

EXISTING ROOFING ASSEMBLY

SBS CAP SHEETING O/B.U.R.
1/2" FIBER BOARD COVER BOARD - FULLY ADHERED
#2-1/2" RIGID INSULATION - FULLY ADHERED
OVER PRECAST CONCRETE DOUBLE-TEE OR HOLLOW CORE SLAB ROOF DECK

KEY NOTES: (NOT ALL NOTES ARE USED ON THIS SHEET)

- (E) B.U.R., PROTECTION BOARD, INSULATION, & CRICKETS TO BE REMOVED DOWN TO (E) CONC. ROOF DECK; (TYP.)
- (E) LIGHTNING PROTECTION SPIKE AND ASSOCIATED CABLING TO BE DETACHED FROM (E) AND SET ASIDE FOR REINSTALLATION ON (N) ROOF; DO NOT DISCONNECT FROM BUILDING EXTERIOR WALLS OR BUILDING INTERIOR; (TYP.)
- (E) PRIMARY/OVERFLOW ROOF DRAIN TO REMAIN; PROVIDE TEMP. COVER DURING DEMOLITION TO PREVENT DEBRIS FROM ENTERING DRAIN PIPE AND REMOVE TEMP. COVER AT END OF WORK DAY, OR DURING PRECIPITATION EVENT. CAST-IRON DRAIN SCREENS TO REMAIN
- (E) PLAZA W/BRICK PAVERS BELOW; PROTECT DURING CONSTRUCTION
- (E) PRECAST PARAPET TO REMAIN; (TYP.)
- (E) PENTHOUSE ACCESS DOORS TO REMAIN; PROTECT DURING CONSTRUCTION AND DO NOT OBSTRUCT DURING WORK WITHOUT OWNER APPROVAL IN ADVANCE; (TYP.)
- (E) ELECTRICAL DUPLEX CONVENIENCE OUTLET
- (E) PIPE VENT TO REMAIN; IF UNCAPPED, PROTECT DURING DEMO. W/ TEMP. SCREEN COVER TO PREVENT DEBRIS FROM ENTERING PIPE W/O OBSTRUCTING VENT; (TYP.)
- (E) MECH. EXHAUST TO REMAIN; PROTECT DURING CONSTRUCTION; REMOVE (E) BASE FLASHING & PREPARE FOR (N) BASE FLASHING PER ROOF MFR.
- (E) CONDUIT ROOF PENETRATION TO REMAIN; REMOVE (E) BOOT FLASHING AND PREPARE FOR (N) BOOT FLASHING PER ROOF MFR.
- (E) MTL. COPING TO BE REMOVED
- (E) EXPANSION JOINT; REMOVE AND REPLACE (E) CAP FLASHING
- (E) LAMBS TONGUE DRAINAGE OUTLETS FROM ROOF AREA ABOVE TO REMAIN
- (E) HVAC OUTSIDE AIR INTAKE LOUVER IN PENTHOUSE WALL TO REMAIN; COORDINATE SHUTDOWN OF AIR-HANDLING UNITS W/ OWNER PRIOR TO DEMOLITION & ROOFING WORK IN THIS AREA
- (E) PREFABRICATED METAL PANEL MECHANICAL PENTHOUSE ENCLOSURE TO REMAIN
- (E) WOODEN ACCESS STEPS TO BE REMOVED
- (E) CRAC UNIT ON CONC. PAD TO REMAIN; CUT (E) ROOFING ASSEMBLY AROUND CONCRETE PERIMETER BELOW PAD; ROOFING TO REMAIN; SEE XX/XXXX
- (E) CURBED CABLE PENETRATION SLEEVE AND CAP FLASHING TO BE REMOVED & REINSTALLED; RE-FLASH AND MOUNT IN (E) CURB
- (E) STANDPIPE & VALVE TO REMAIN
- (E) OVERFLOW ROOF DRAIN OUTLET @ APPROXIMATELY 12" A.F.G. TO REMAIN; (SHOWN FOR REFERENCE ONLY)
- (E) PITCH PAN AND ABANDONED CONDUIT TO BE REMOVED
- DASHED LINE INDICATES EXTERIOR WALLS OF VESTIBULE BELOW ROOF

SHEET TITLE:

DEMOLITION ROOF PLAN

DATE: 2/22/2023

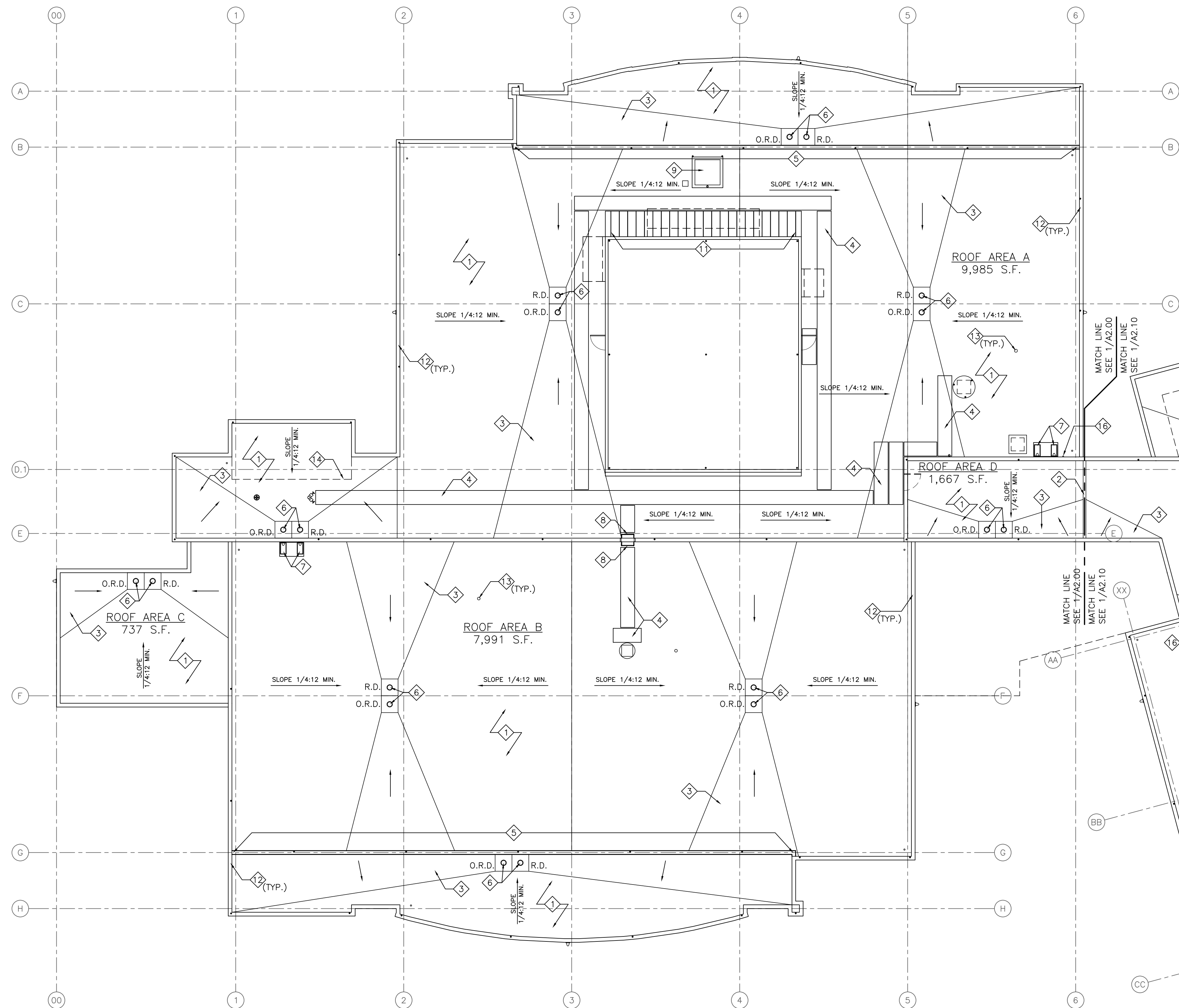
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1 ROOF PLAN - WEST
A2.00 SCALE: 3/32" = 1'-0"
 NORTH

ROOF PLAN GENERAL NOTES:

- ALL DIMENSIONS ARE TO FACE OF MASONRY WALL/PARAPET OR FACE OF EXTERIOR CEMENT PLASTER WALLS/PARAPETS, UNLESS NOTED OTHERWISE.
- PROVIDE COMPATIBLE SEALANT AT ALL JOINTS OR CRACKS WHICH OCCUR WHERE MATERIALS INTERSECT UNLESS OTHERWISE NOTED.
- SCRUB & CLEAN ALL ADJ. EXT. FINISHED SURFACES OF ANY ROOFING MAT'L ADHESIVE/SEALANT AND/OR STAINS (MASONRY, PRECAST, PTD. MTL., GLASS, ETC.) AT END OF PROJECT.
- EXISTING STRUCTURAL ROOF DECKS ARE ASSUMED TO BE SLOPED PER LIMITED OWNER AS-BUILT PLANS.
- PROVIDE TAPERED INSULATION CRICKET ON HIGH SIDE OF ALL MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT CURBS WIDER THAN 12 INCHES.
- PROVIDE TAPERED INSULATION CRICKET TO DIVERT DRAINAGE TO ALL ROOF DRAINS AS INDICATED / AS NECESSARY; SLOPE 1/2 INCH/FT. MIN.; (TYP.)
- ADDITIONAL CONDUIT AND VENT PENETRATION LOCATIONS MAY BE PRESENT. PROVIDE APPROPRIATE FLASHING PER 6&10/A9.00 AND AS REQUIRED BY ROOFING MFR. AS NECESSARY
- EXTEND ANY ADDITIONAL OPEN (E) PLUMBING WASTE VENT PIPES TO A MINIMUM OF 6 INCHES ABOVE THE NEW ROOFING SURFACE PER IPC 903.1 WITH APPROPRIATE METAL PIPING. EXTEND ANY OPEN GAS VENTS TO A MINIMUM OF 12 INCHES ABOVE THE NEW ROOFING SURFACE PER IFGC 503.6.4 WITH APPROPRIATE STEEL PIPING, AND SHALL TERMINATE WITH LISTED CAP OR LISTED ROOF ASSEMBLY PER IFGC 503.6.7.
- ALL NEW ROOFING ASSEMBLIES SHALL INCLUDE THE THICKNESS OF INSULATION NECESSARY TO ACHIEVE THE MINIMUM R-VALUES LISTED, BUT SHALL BE INCREASED IF NECESSARY TO ACHIEVE A MINIMUM LONG TERM THERMAL RESISTANCE (LTR) VALUE OF R-30 BASED ON ASTM C1289-11A OR LATER DEPENDING ON THE SUBMITTED PRODUCT ASSEMBLY.
- CONTRACTOR SHALL BE RESPONSIBLE TO LIFT ALL CURB MOUNTED MECHANICAL EQUIPMENT IF NECESSARY TO PROPERLY INSTALL NEW ROOFING TERMINATION/COUNTERFLASHING, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL REMOVED AND REINSTALLED ROOFTOP EQUIPMENT SHALL BE INSTALLED TO RESIST WIND PRESSURES NOTED BELOW.
- SHEET METAL COPING VARIES IN WIDTH THROUGHOUT PROJECT. CONTRACTOR SHALL FIELD VERIFY & MATCH ALL EXISTING WIDTHS.
- SEE DETAIL 3/A9.00 FOR TYP. FLASHING AT (E) WALLS
- COORDINATE ROOF REPLACEMENT ACTIVITIES W/LIGHTNING PROTECTION SYSTEM REPLACEMENT WORK.
- EXISTING SQUARE FOOTAGES OF ROOF AREAS, DIMENSIONS, AND DESCRIPTIONS OF EXISTING ROOF ASSEMBLIES SHOWN ARE BASED ON OWNER RECORD DRAWINGS AND ARE NOT TO BE RELIED UPON FOR BID TAKE-OFF; G.C. SHALL FIELD VERIFY EXISTING CONDITIONS.

KEY NOTES: (NOT ALL NOTES ARE USED ON THIS SHEET)

- 1 FULLY-ADHERED REINFORCED TPO ROOFING SYSTEM; SEE NEW ASSEMBLIES DESCRIBED BELOW, SPECIFICATIONS, AND 6/A9.00
- 2 MTL CAP FLASHING O/(N) EXPANSION JOINT; SEE 8/A9.00
- 3 CRICKET SLOPED 1/4:12 MIN. TO (E) ROOF DRAINS; (TYP.)
- 4 FULLY-ADHERED 30" WIDE WALKPADS BY ROOF MFR.
- 5 MTL. COPING; SEE 10/A9.00
- 6 TAPER SUMPS OF (E) ROOF AND OVERFLOW DRAIN PER ROOF MFR.; SEE 12/A9.00; (TYP.)
- 7 PRECAST CONC SPLASH BLOCK; SET ENTIRE FOOTPRINT O/WALKPAD
- 8 STL ACCESS LADDER & PLATFORM ANCHORED TO (E) EXT. WALL; SEE 2/A9.00
- 9 WRAP TPO MEMBRANE ON SIDES AND TOP OF (E) CONC. PAD; SEE 1/A9.00
- 10 NOT USED
- 11 PROVIDE & INSTALL NEW STANDING SEAM SEAM CAPS/CLEATS AT (E) STANDING SEAM ROOF SEAMS; SEAL AS REQUIRED; (TYP.)
- 12 (E) PRECAST COPING & PERIMETER FLASHING SEE 4/A9.00
- 13 VENT PIPE PENETRATION; SEE 7/A9.00
- 14 DASHED LINE INDICATES TRANSITION IN ROOF DECK CONSTRUCTION AND ELEVATION
- 15 ROOF AREA E SHALL ONLY HAVE 2-1/2" THICK INSULATION ALONG ITS NORTHERN PARAPET; A WEIGHTED AVERAGE INSULATION PROCEDURE HAS BEEN USED ON THIS PROJECT.
- 16 (E) WALL SLEEVE CONTAINING LIGHTNING PROTECTION CABLE TO REMAIN; REPLACE SEALANT WITHIN SLEEVE; (TYP.)

NEW ROOFING ASSEMBLY

60 MIL TPO MEMBRANE - FULLY ADHERED
 5/8" DENSDECK COVER BOARD
 R-30 MIN. POLYISO RIGID INSULATION
 VAPOR BARRIER
 OVER (E) PRECAST CONCRETE DOUBLE TEE STRUCTURAL ROOF DECK

WIND PRESSURE APPLICABLE TO ALL WORK THIS SHEET:

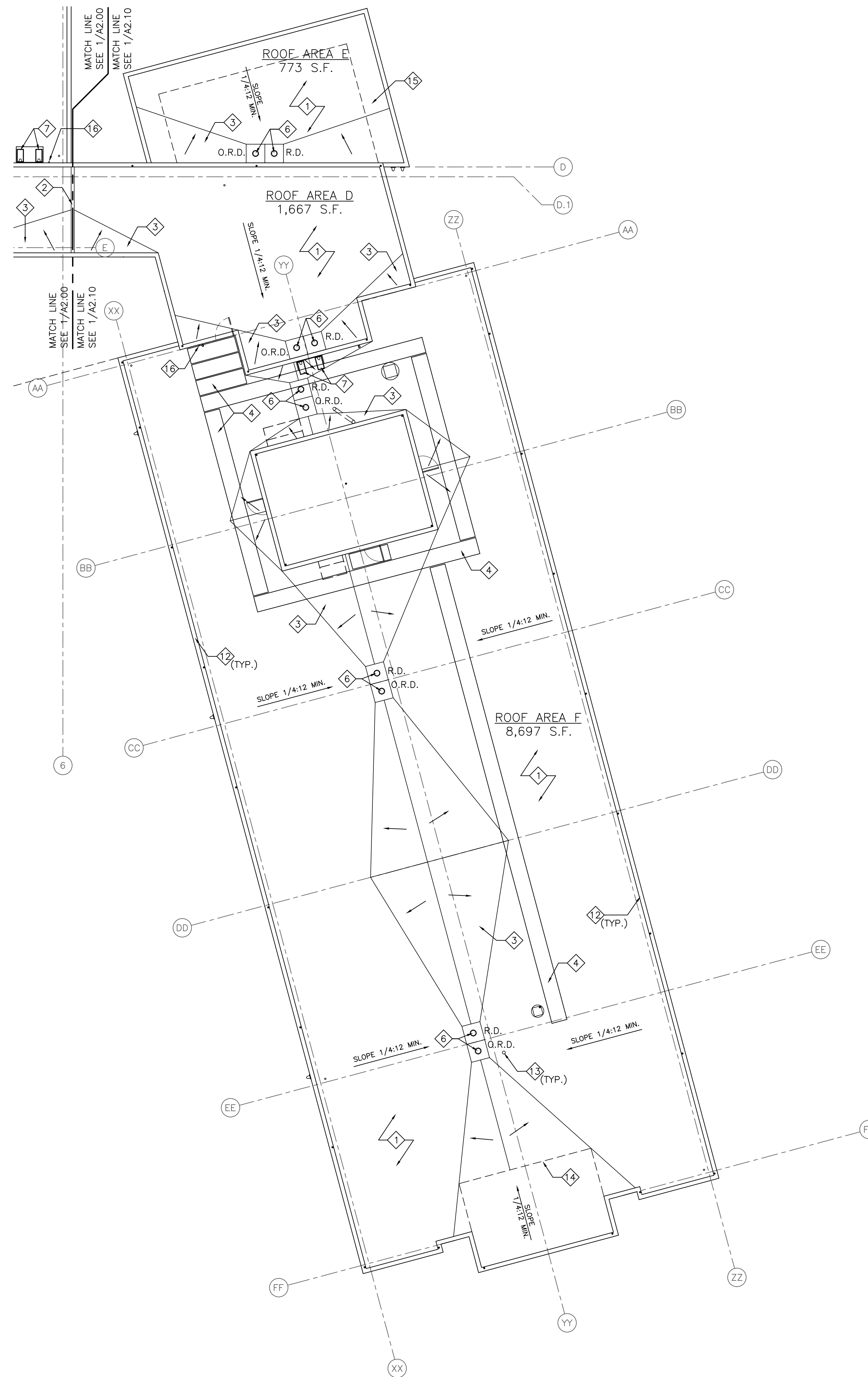
PRESSURES DERIVED BY ASD METHOD WITH A SAFETY FACTOR OF 2X.
 MINIMUM DESIGN UPLIFT-RESISTANCE CAPACITIES ARE AS FOLLOWS:
 (ZONES AS DEFINED BY ASCE 7-16)

ZONE 2 (ROOF PERIMETER 33 FT WIDE):	141.4 PSF
ZONE 3 (ROOF CORNERS 11 FT X 33 FT EA. DIRECTION):	192.7 PSF

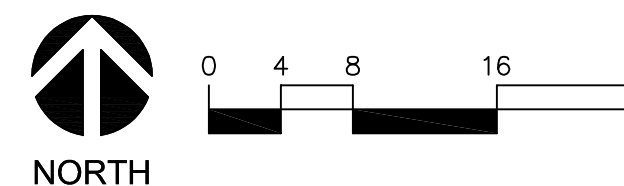
WIND LOAD DESIGN PERIMETER EDGE METAL SHALL BE AS FOLLOWS:
 (ZONES AS DEFINED BY ASCE 7-16)

ZONE 2 (ROOF EDGE PERIMETER, VERTICAL LOAD):	141.4 PSF
ZONE 3 (ROOF CORNERS, VERTICAL LOAD):	192.7 PSF
ZONE 4 (ROOF EDGE PERIMETER, HORIZ. LOAD):	72.9 PSF
ZONE 5 (ROOF CORNERS, HORIZ. LOAD):	90.1 PSF

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1 ROOF PLAN - EAST
A2.10 SCALE: 3/32" = 1'-0"



ROOF PLAN GENERAL NOTES:

- ALL DIMENSIONS ARE TO FACE OF MASONRY WALL/PARAPET OR FACE OF EXTERIOR CEMENT PLASTER WALLS/PARAPETS, UNLESS NOTED OTHERWISE.
- PROVIDE COMPATIBLE SEALANT AT ALL JOINTS OR CRACKS WHICH OCCUR WHERE MATERIALS INTERSECT UNLESS OTHERWISE NOTED.
- SCRUB & CLEAN ALL ADJ. EXT. FINISHED SURFACES OF ANY ROOFING MAT'L ADHESIVE/SEALANT AND/OR STAINS (MASONRY, PRECAST, PTD. MTL., GLASS, ETC.) AT END OF PROJECT.
- EXISTING STRUCTURAL ROOF DECKS ARE ASSUMED TO BE SLOPED PER LIMITED OWNER AS-BUILT PLANS.
- PROVIDE TAPERED INSULATION CRICKET ON HIGH SIDE OF ALL MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT CURBS WIDER THAN 12 INCHES.
- PROVIDE TAPERED INSULATION CRICKET TO DIVERT DRAINAGE TO ALL ROOF DRAINS AS INDICATED / AS NECESSARY; SLOPE 1/2 INCH/FT. MIN.; (TYP.)
- ADDITIONAL CONDUIT AND VENT PENETRATION LOCATIONS MAY BE PRESENT. PROVIDE APPROPRIATE FLASHING PER 6&10/A9.00 AND AS REQUIRED BY ROOFING MFR. AS NECESSARY
- EXTEND ANY ADDITIONAL OPEN (E) PLUMBING WASTE VENT PIPES TO A MINIMUM OF 6 INCHES ABOVE THE NEW ROOFING SURFACE PER IPC 903.1 WITH APPROPRIATE METAL PIPING. EXTEND ANY OPEN GAS VENTS TO A MINIMUM OF 12 INCHES ABOVE THE NEW ROOFING SURFACE PER IFGC 503.6.4 WITH APPROPRIATE STEEL PIPING, AND SHALL TERMINATE WITH LISTED CAP OR LISTED ROOF ASSEMBLY PER IFGC 503.6.7.
- ALL NEW ROOFING ASSEMBLIES SHALL INCLUDE THE THICKNESS OF INSULATION NECESSARY TO ACHIEVE THE MINIMUM R-VALUES LISTED, BUT SHALL BE INCREASED IF NECESSARY TO ACHIEVE A MINIMUM LONG TERM THERMAL RESISTANCE (LTR) VALUE OF R-30 BASED ON ASTM C1289-11A OR LATER DEPENDING ON THE SUBMITTED PRODUCT ASSEMBLY.
- CONTRACTOR SHALL BE RESPONSIBLE TO LIFT ALL CURB MOUNTED MECHANICAL EQUIPMENT IF NECESSARY TO PROPERLY INSTALL NEW ROOFING TERMINATION/COUNTERFLASHING, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL REMOVED AND REINSTALLED ROOFTOP EQUIPMENT SHALL BE INSTALLED TO RESIST WIND PRESSURES NOTED BELOW.
- SHEET METAL COPING VARIES IN WIDTH THROUGHOUT PROJECT. CONTRACTOR SHALL FIELD VERIFY & MATCH ALL EXISTING WIDTHS.
- SEE DETAIL 3/A9.00 FOR TYP. FLASHING AT (E) WALLS
- COORDINATE ROOF REPLACEMENT ACTIVITIES W/LIGHTNING PROTECTION SYSTEM REPLACEMENT WORK.
- EXISTING SQUARE FOOTAGES OF ROOF AREAS, DIMENSIONS, AND DESCRIPTIONS OF EXISTING ROOF ASSEMBLIES SHOWN ARE BASED ON OWNER RECORD DRAWINGS AND ARE NOT TO BE RELIED UPON FOR BID TAKE-OFF; G.C. SHALL FIELD VERIFY EXISTING CONDITIONS.

KEY NOTES: (NOT ALL NOTES ARE USED ON THIS SHEET)

- 1 FULLY-ADHERED TPO ROOFING SYSTEM; SEE NEW ASSEMBLIES DESCRIBED BELOW, SPECIFICATIONS, AND 6/A9.00
- 2 MTL CAP FLASHING O/(N) EXPANSION JOINT; SEE 8/A9.00
- 3 CRICKET SLOPED 1/4:12 MIN. TO (E) ROOF DRAINS; (TYP.)
- 4 FULLY-ADHERED 30" WIDE WALKPADS BY ROOF MFR.
- 5 MTL. COPING; SEE 10/A9.00
- 6 TAPER SUMPS OF (E) ROOF AND OVERFLOW DRAIN PER ROOF MFR.; SEE 12/A9.00; (TYP.)
- 7 PRECAST CONC SPLASH BLOCK; SET ENTIRE FOOTPRINT O/WALKPAD
- 8 STL ACCESS LADDER & PLATFORM ANCHORED TO (E) EXT. WALL; SEE 2/A9.00
- 9 WRAP TPO MEMBRANE ON SIDES AND TOP OF (E) CONC. PAD; SEE 1/A9.00
- 10 NOT USED
- 11 PROVIDE & INSTALL NEW STANDING SEAM SEAM CAPS/CLEATS AT (E) STANDING SEAM ROOF SEAMS; SEAL AS REQUIRED; (TYP.)
- 12 (E) PRECAST COPING & PERIMETER FLASHING SEE 4/A9.00
- 13 VENT PIPE PENETRATION; SEE 7/A9.00
- 14 DASHED LINE INDICATES TRANSITION IN ROOF DECK CONSTRUCTION AND ELEVATION
- 15 ROOF AREA E SHALL ONLY HAVE 2-1/2" THICK INSULATION ALONG ITS NORTHERN PARAPET; A WEIGHTED AVERAGE INSULATION PROCEDURE HAS BEEN USED ON THIS PROJECT.

NEW ROOFING ASSEMBLY

60 MIL TPO MEMBRANE - FULLY ADHERED
5/8" DENSDECK COVER BOARD
R-30 MIN. POLYISO RIGID INSULATION
VAPOR BARRIER
OVER (E) PRECAST CONCRETE DOUBLE TEE STRUCTURAL ROOF DECK

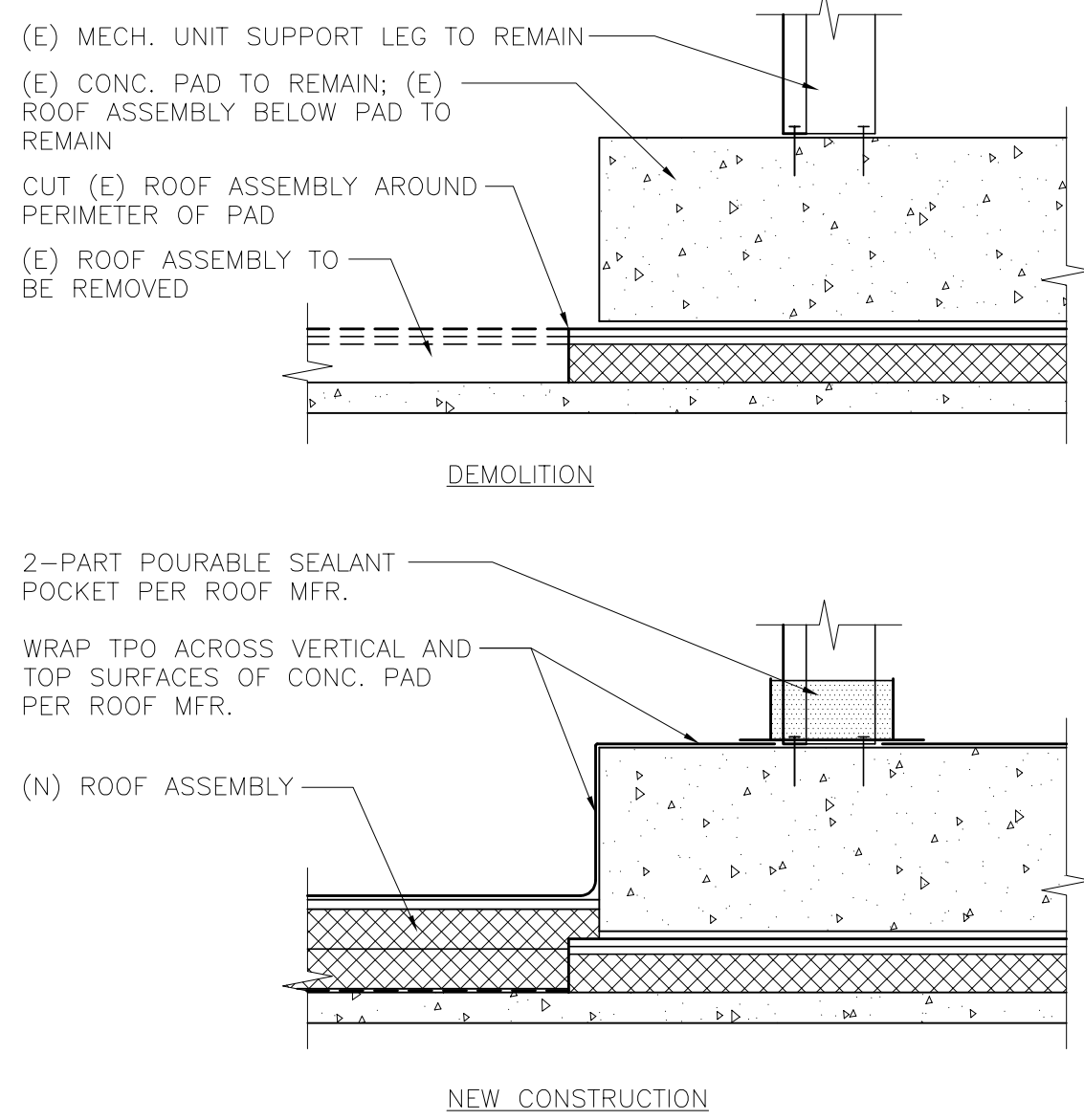
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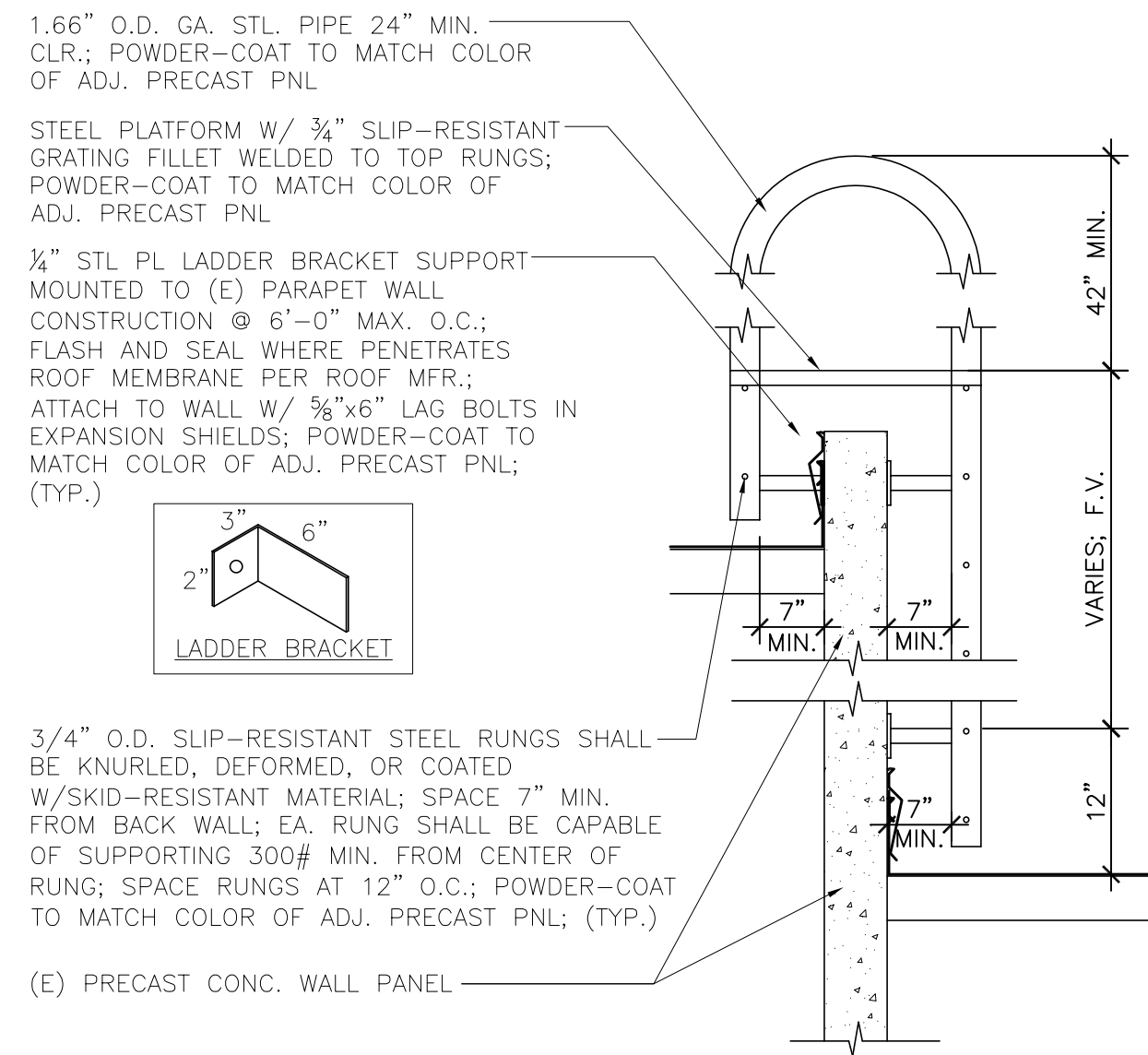
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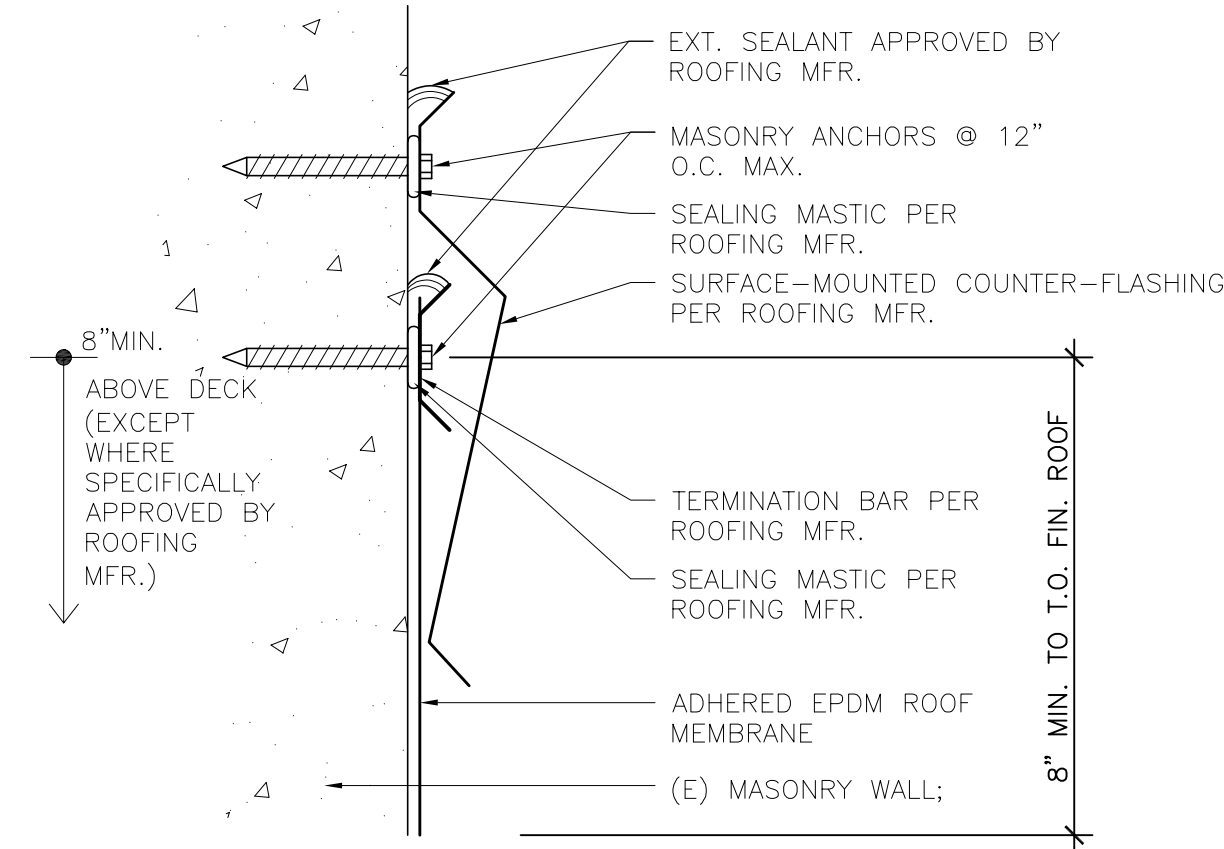
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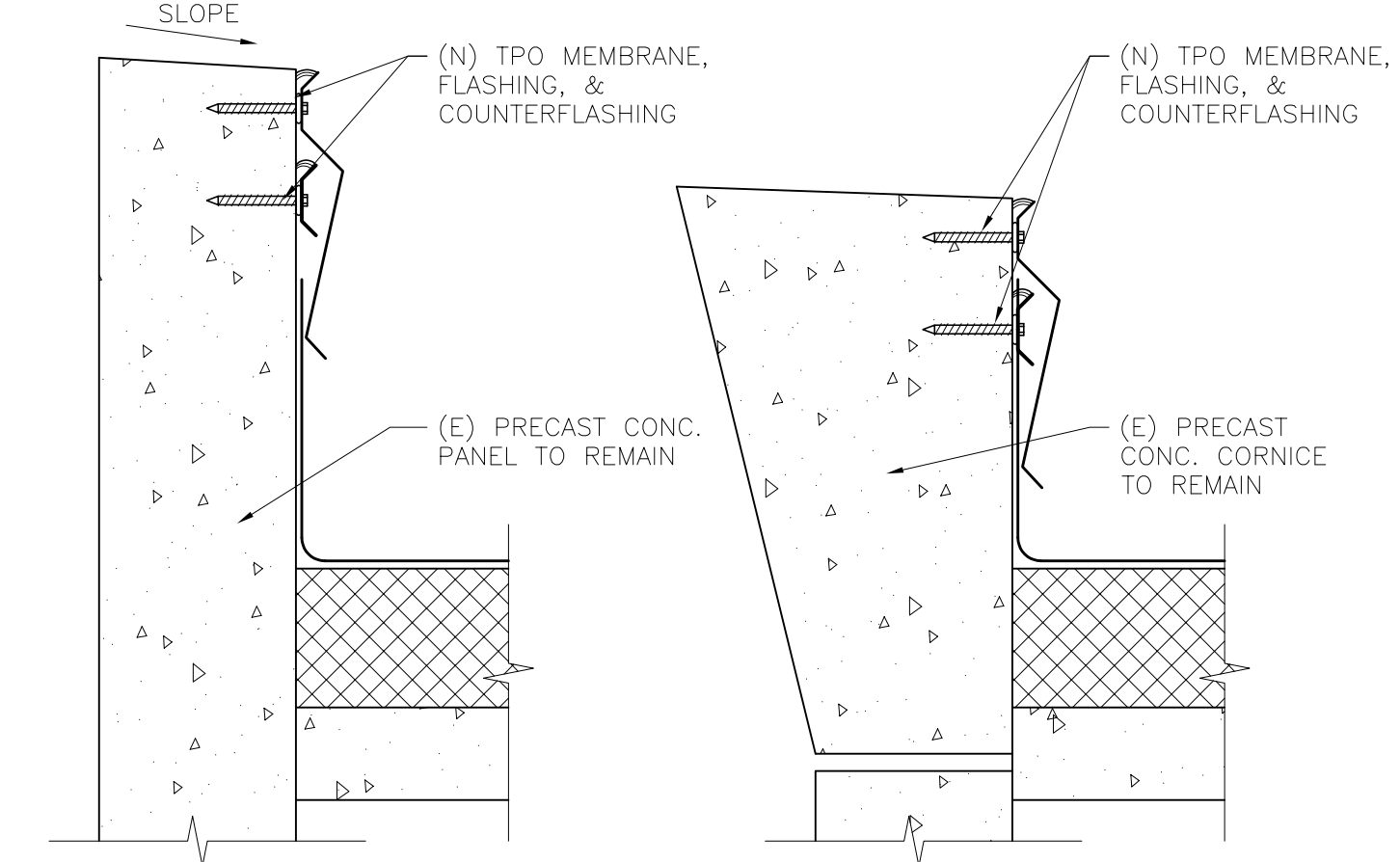
1 (E) CONC. PAD FLASHING
A9.00 SCALE: 1" = 1'-0"



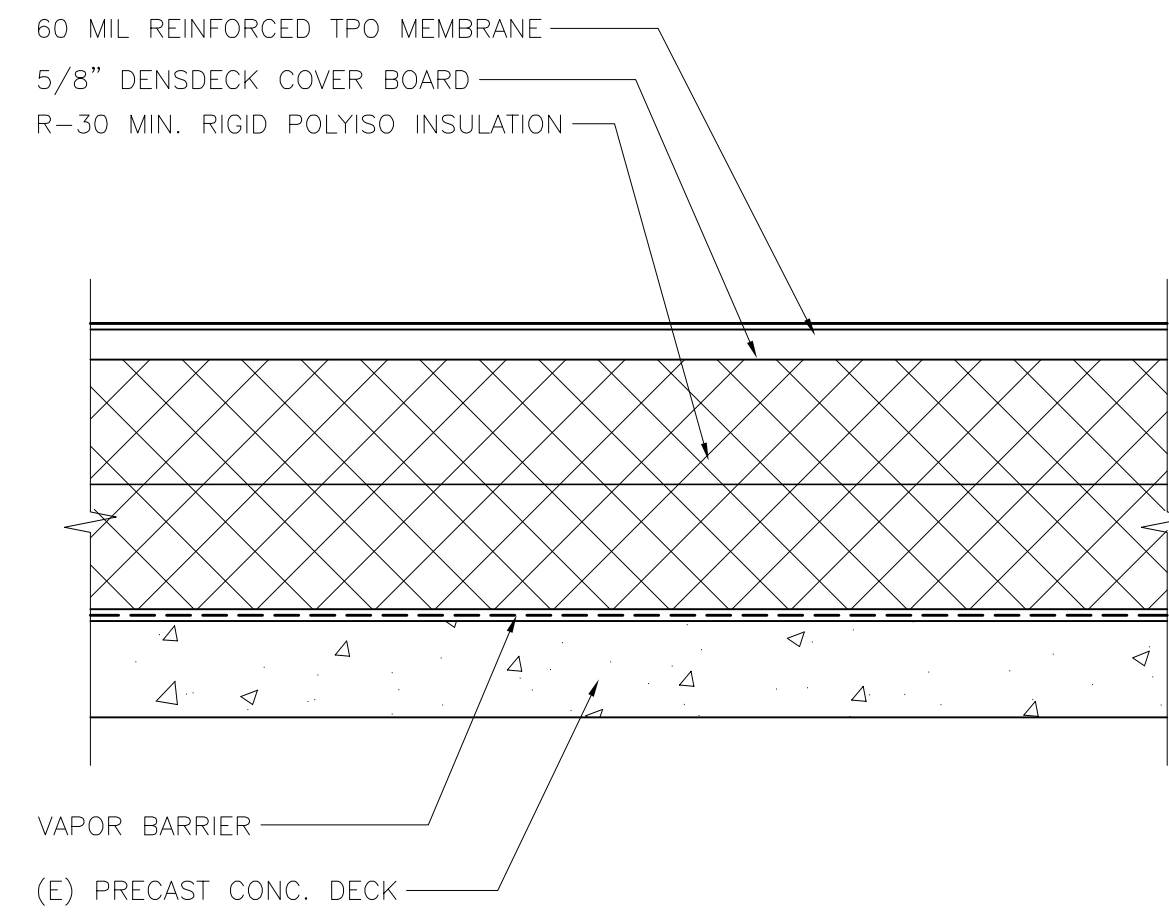
2 ROOF ACCESS LADDER
A9.00 SCALE: 1-1/2" = 1'-0"



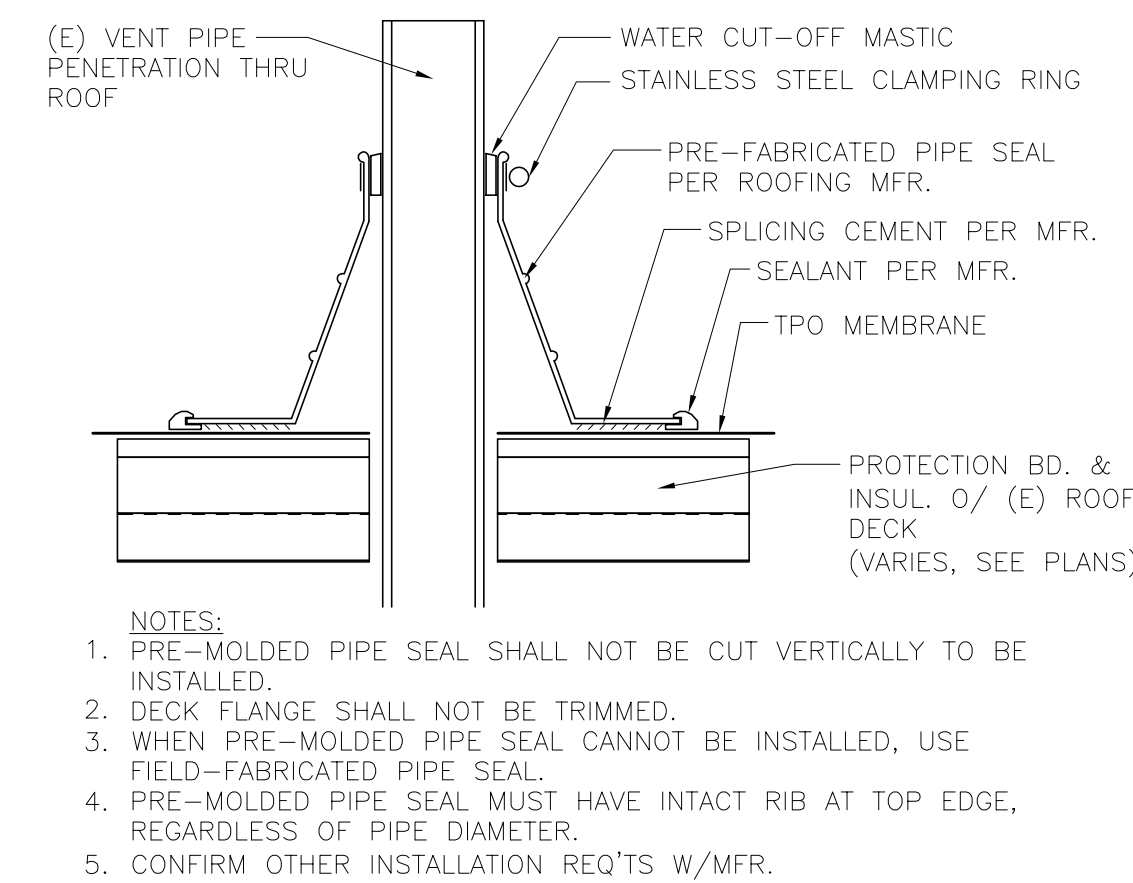
3 WALL FLASHING DETAIL
A9.00 SCALE: 3" = 1'-0"



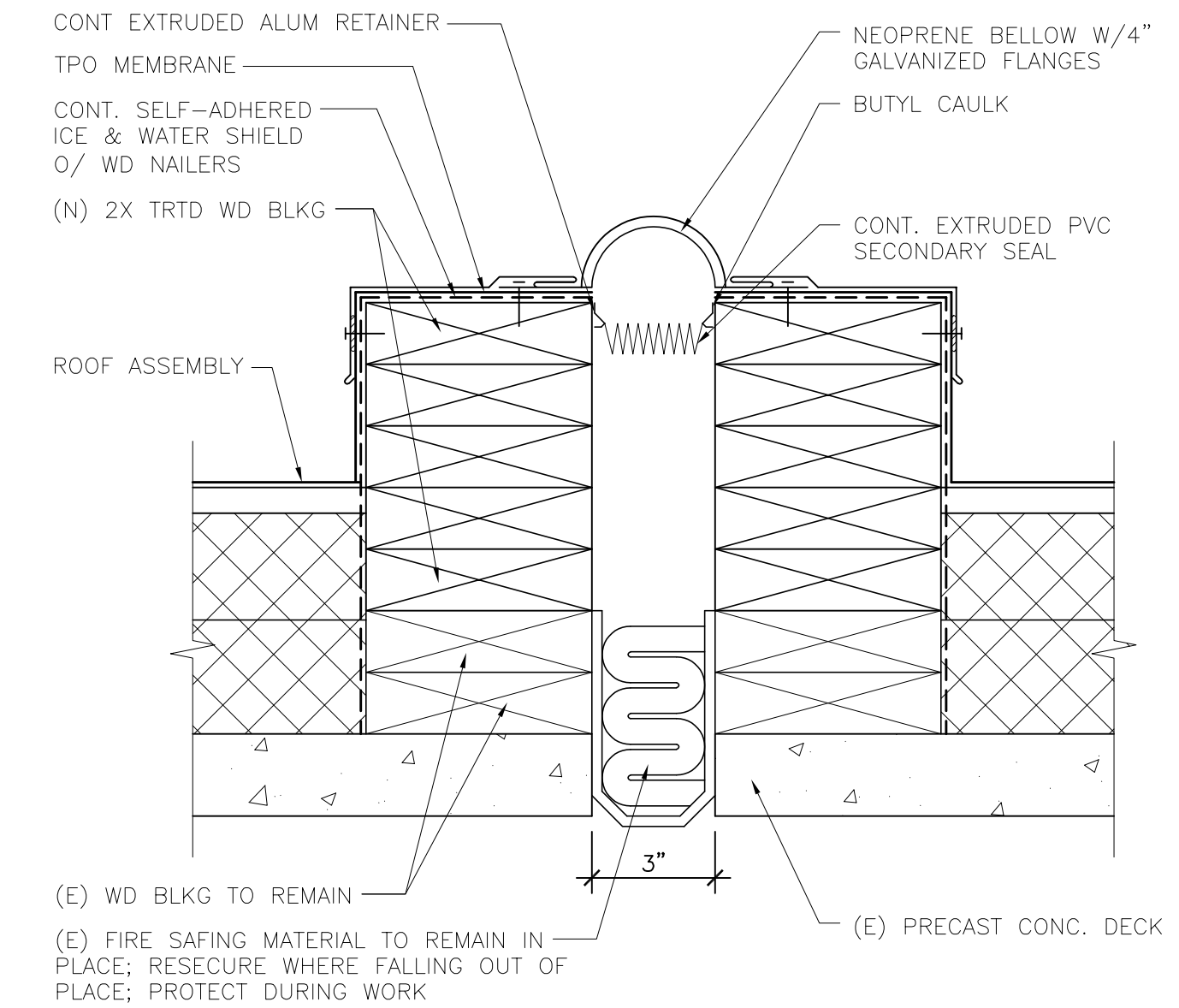
4 PARAPET DETAILS
A9.00 SCALE: 1-1/2" = 1'-0"



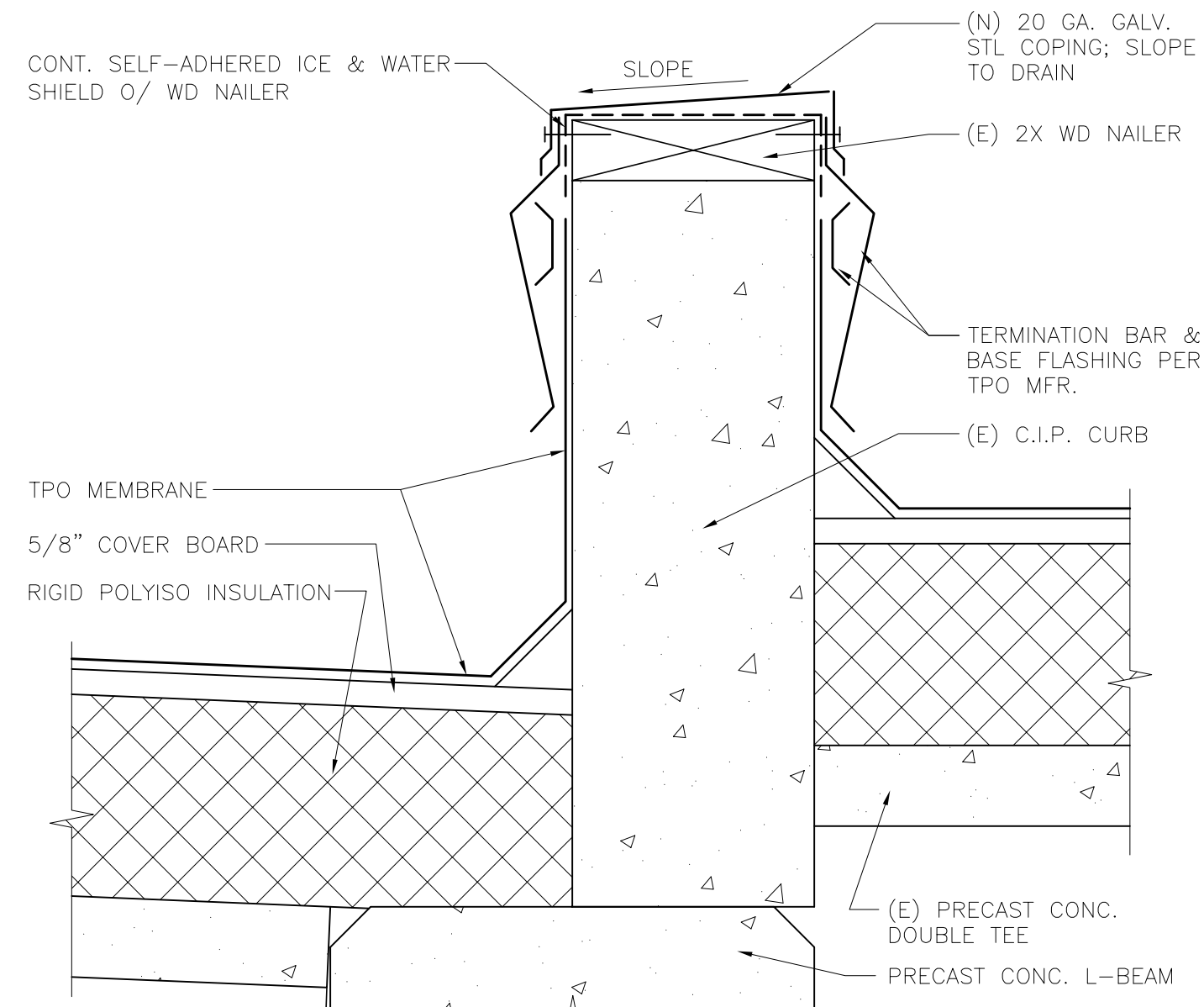
6 TYP. ROOF ASSEMBLY
A9.00 SCALE: 3" = 1'-0"



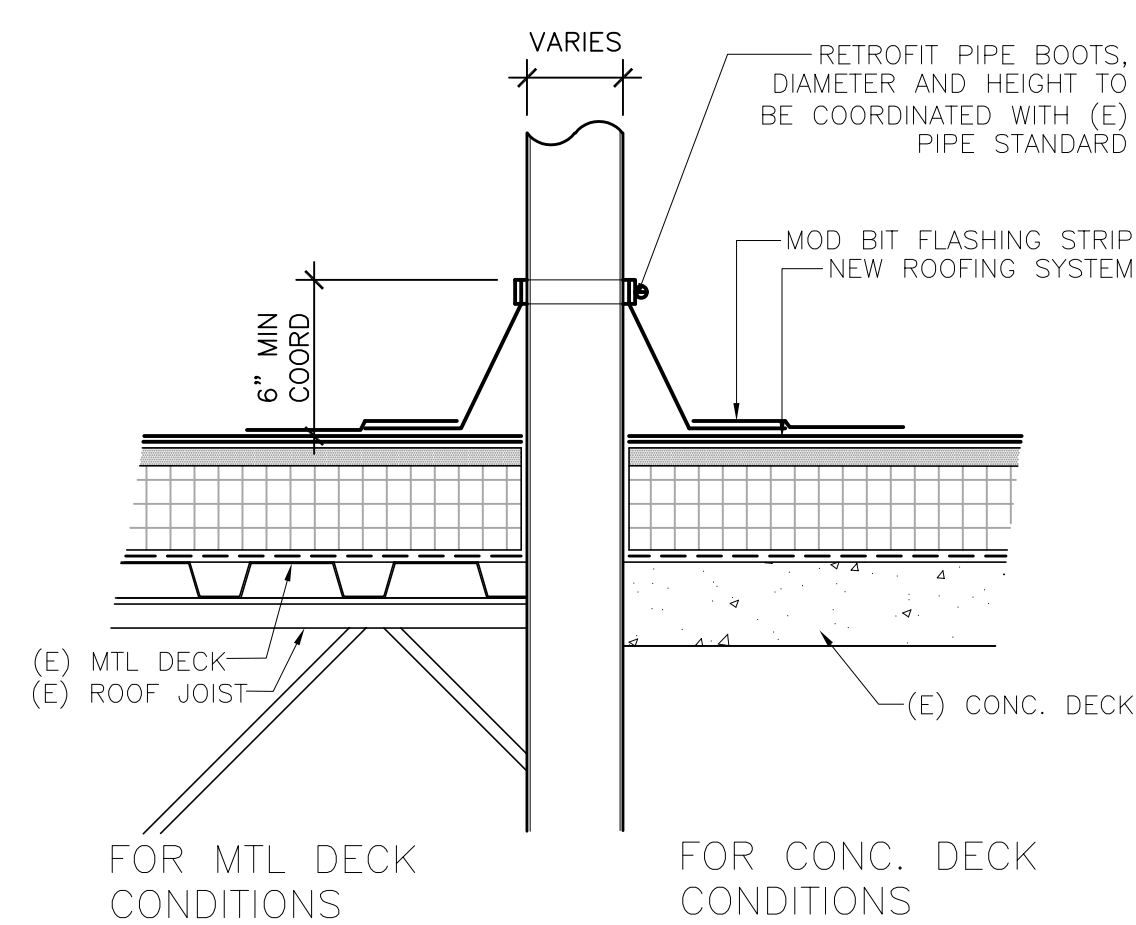
7 TYP. ROOF VENT DETAIL
A9.00 SCALE: N.T.S.



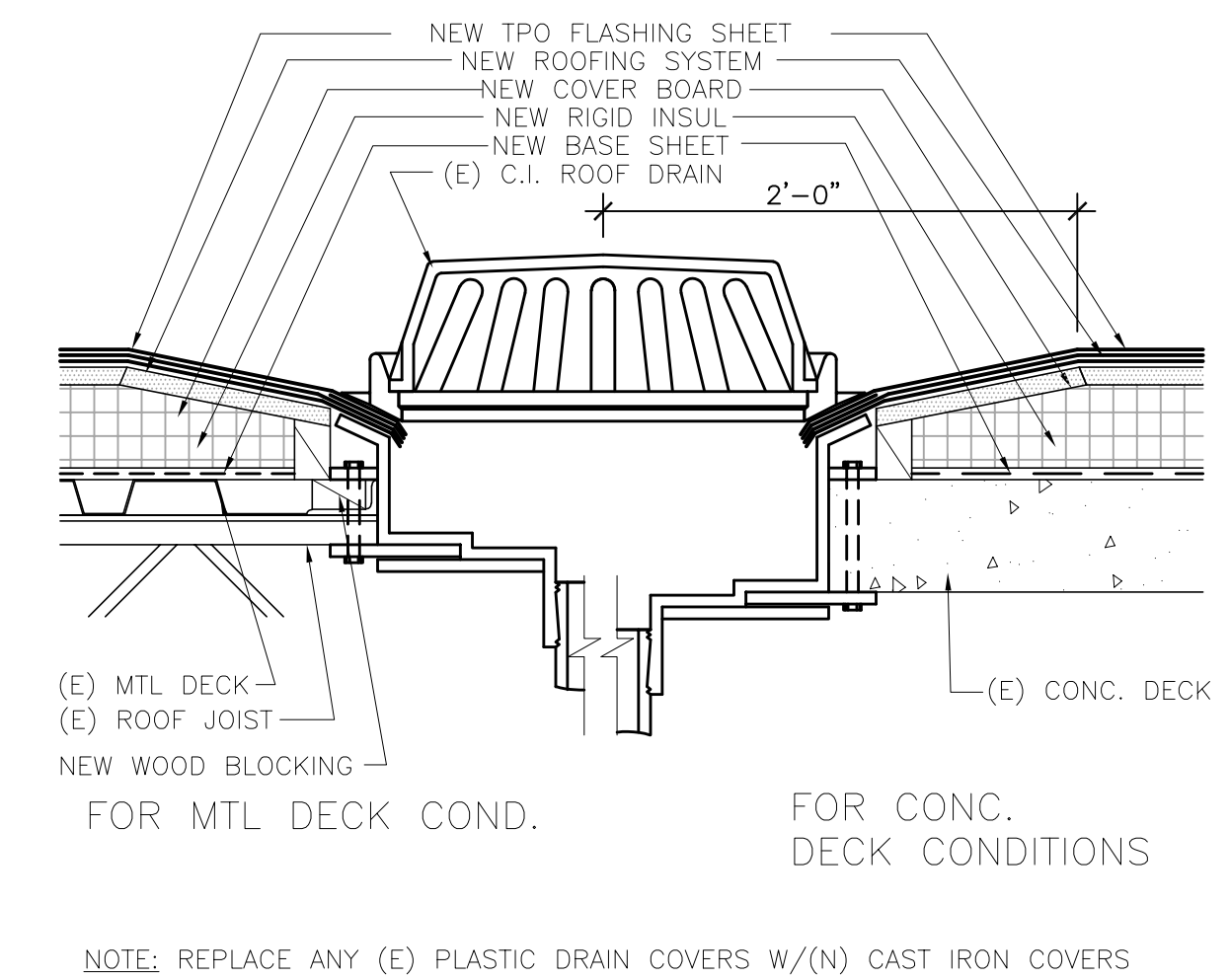
8 EXPANSION JOINT
A9.00 SCALE: 3" = 1'-0"



10 INTERMEDIATE ROOF CURB DTL.
A9.00 SCALE: 3" = 1'-0"



11 TYP. MECH. FLUE FLASHING DTL.
A9.00 SCALE: 1-1/2" = 1'-0"



12 TYP. ROOF DRAIN SUMP
A9.00 SCALE: 1-1/2" = 1'-0"

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